

MODAL 01 ADU - WILLIAMS

1072 S Jeremy St., Salt Lake City, UT 84104

PROJECT TEAM

PROJECT OWNER	MODULAR BUILDING MANUFACTURER
Mary Jane Fine mjfine@unphe.org 1072 S Jeremy Street Salt Lake City, UT 84104 Ph. 801.301.1891	LiveModal Attn: Andrea Palmer andrea@livemodal.com 150 S State Street Salt Lake City, UT 84102 Ph. 801.864.1761

CIVIL ENGINEER	3RD PARTY BUILDING INSPECTOR
WARD ENGINEERING John Bond jbond@wardeng.com 231 W 800 S, Ste. A Salt Lake City, UT 84101 Ph. 801.487.8040	FORSGREEN BUILDING INSPECTION Attn: Curt Allen ICC Certification #: 1016602 curtallenwb@gmail.com - Ph. 801.487.8040

PROJECT ARCHITECT	STRUCTURAL & M.E.P. ENGINEERS	GENERAL CONTRACTOR
RANGE Architecture + Design Attn: Ian Kaplan ikaplan@rangearchitecture.com 1068 E 2100 S Salt Lake City, UT 84106 Ph. 585.261.1856	EPIC Engineering Attn: John Riley jriley@epiceng.net 3341 S 4000 W, Suite D West Valley City, UT 84120 Ph. 435.654.6600	CLASSIC EXCAVATION, LLC RUSSELL D. JOLLEY russdjolley@hotmail.com 4297 SCENIC ACRES DRIVE RIVERTON, UT 84096 Ph. 385.218.7446

GENERAL NOTE:
MODULAR UNIT TO BE PRE-MANUFACTURED IN FACTORY. ALL APPLICABLE THIRD PARTY INSPECTIONS & REPORTS TO BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION AND PROVIDED BY MODULAR BUILDING MANUFACTURER.

VICINITY MAP



PROJECT INFORMATION

ADDRESS:	1072 S Jeremy St. Salt Lake City, UT 84104
PARCEL RECORD #:	15114040120000
AUTHORITY W/ JURISDICTION:	Salt Lake City
SITE AREA:	.21 ACRES (9,013 SF)
DESCRIPTION:	MODULAR DETACHED ACCESSORY DWELLING UNIT TO BE ADDED TO EXISTING SINGLE FAMILY RESIDENCE PROPERTY.
CONSTRUCTION TYPE:	VB (WOOD FRAME)

ZONING INFORMATION

	REQUIRED	COMPLIANCE
R-1-5000 - 21A.24.070		
SURFACE COVERAGE:	40% MAX	YES
Lot Size:	9,013 SF	
Structure Coverage:		
Existing House:	1,009 SF	
Existing Garage:	581 SF	
New ADU:	425 SF	
Total:	2,015 SF (22%)	
ACCESSORY DWELLING UNITS - 21A.40.200		
PARKING:	REQUIRED *1	COMPLIANCE YES
	*Not required if 1/4 mile from mass transit *On street parking may comply	
SIZE:	50% of existing dwelling area	YES
Existing House:	1,009 SF	
Proposed ADU:	425 SF (42% of existing) < 650 SF?	YES
SURFACE COVERAGE	50% MAX OF REAR YARD	YES
Rear Yard Size:	4,525 SF	
Structure coverage:		
Existing Garage:	581 SF	
Existing Shed:	85 SF	
New ADU:	425 SF	
Total:	1,091 SF	
SETBACKS (DETACHED ADU):		
From S.F.R.	10'	YES
Side:	*4'	YES
	*10' Required if unit faces side property line, includes access stairway	
Rear:	4'	YES
STRUCTURE HEIGHT:	17' OR HEIGHT OF EXISTING SFR	YES

GENERAL NOTES - SITE PLAN

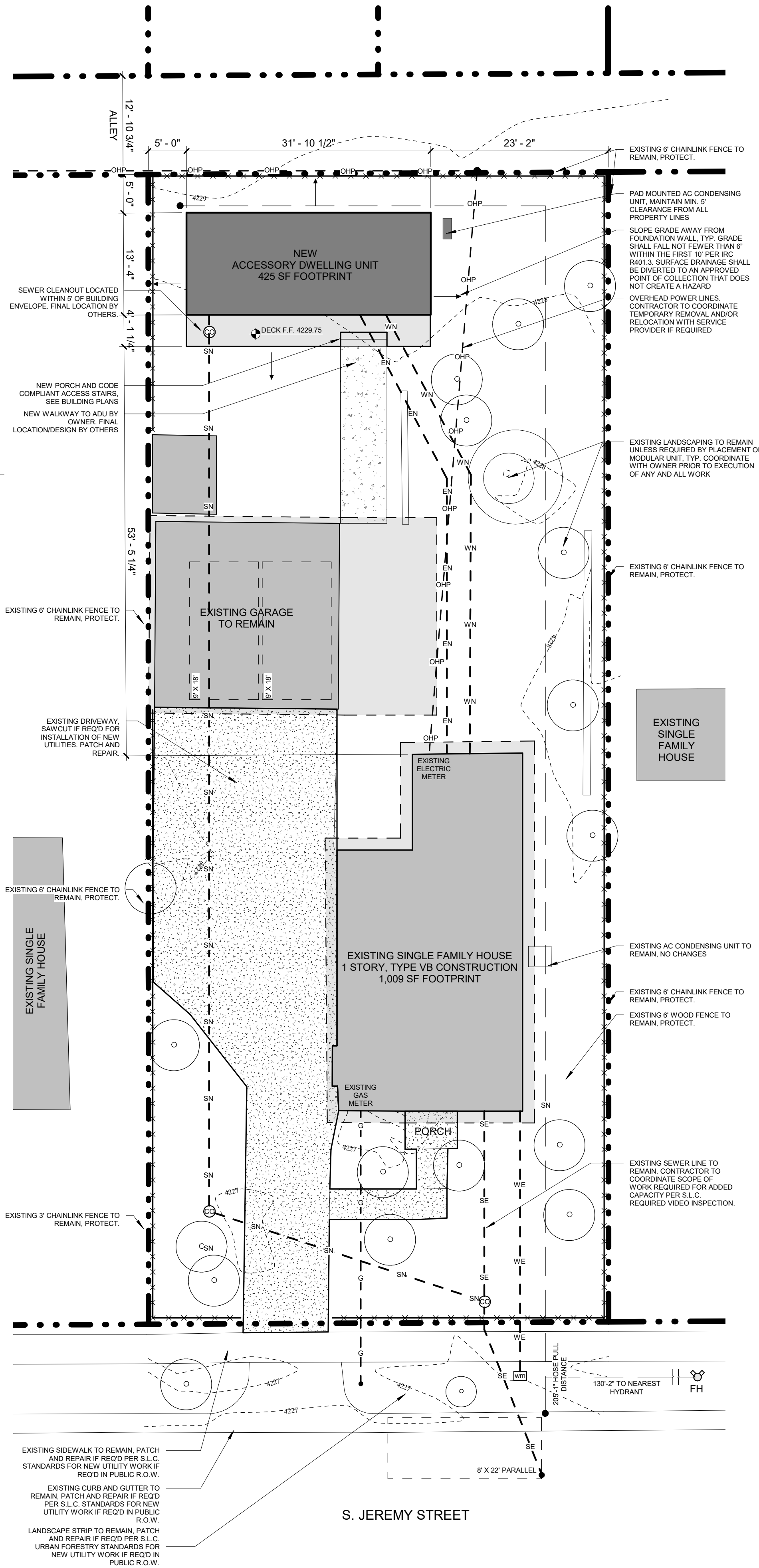
- UTILITY LOCATIONS ARE SHOWN SCHEMATICALLY. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO THE EXECUTION OF ANY WORK.
- WHEN SHOWN IN SITE PLAN, ALL DIMENSIONS ARE TO FACE OF FINISH TO PROPERTY LINES, IMAGINARY LINES, SETBACKS, ETC., U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- SEE BUILDING PLANS FOR ALL OTHER NOTES AND DIMENSIONS NOT SHOWN HERE.
- NO PART OF RETAINING WALLS AND FOOTINGS SHALL ENCR OACH INTO ADJACENT PROPERTIES OR EASEMENTS.
- THE PROPERTY OWNER SHALL MAINTAIN ALL DRAINAGE FACILITIES LOCATED WITHIN THE PARCEL AND BE RESPONSIBLE TO PREVENT DAMAGE TO DOWNS TREAM PROPERTIES.
- CONTRACTOR IS TO CONTACT AND ABIDE BY THE RULES OF THE UTAH DIVISION OF AIR QUALITY, (801) 536-4000.
- IF NO GAS UTILITY LINE OR METER ARE SHOWN ON THESE DRAWINGS THEN THERE IS NO GAS SERVICE PROVIDED TO THE SUBJECT PROPERTY.
- ALL UTILITY TRENCHING MUST BE PER SLOPU STANDARD PRACTICE NO. 1
- ALL UTILITIES MUST MEET HORIZONTAL AND VERTICAL CLEARANCE REQUIREMENTS PER CODE. WATER & SEWER LINES REQUIRE 10' MIN. HORIZONTAL SEPARATION AND 18" MIN VERTICAL SEPARATION. SEWER MUST MAINTAIN 5' MIN. HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-WATER UTILITIES. WATER MUST MAINTAIN 3' MINIMUM HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION FROM ANY NON-SEWER UTILITIES.
- A MINIMUM OF ONE EXTERIOR CLEANOUT IS REQUIRED ON THE SEWER LATERAL WITHIN 5' OF THE BUILDING. ADDITIONAL CLEANOUTS ARE REQUIRED AT EACH BEND AND AT LEAST ONE EVERY 50' FOR 4" LATERALS AND ONE EVERY 100' FOR 6" LATERALS.
- SALT LAKE CITY PUBLIC UTILITIES GENERAL NOTES ARE INCORPORATED AS PART OF THIS PLAN SET.
- SEWER LATERAL MUST GRAVITY DRAIN ALL FLOORS AND MEET MINIMUM SLOPE REQUIREMENTS (2% FOR 4" LATERALS, 1% FOR 6" LATERALS)
- POWER COMPANY, GAS COMPANY AND COMMUNICATION COMPANIES ARE RESPONSIBLE FOR SUBMITTING DESIGN PLANS AS REQUIRED BY TITLE 14 CHAPTER 32 OF THE REVISED ORDINANCES OF SALT LAKE CITY FOR ALL PROPOSED WORK FOR THEIR RESPECTIVE UTILITY LINES FOR THIS PROJECT IN OR ADJACENT TO THE CITY ROW OR A PUBLIC UTILITIES ROW. PLAN REVIEWS ARE REQUIRED BY THE PUBLIC UTILITIES DEPT, UTILITY COORDINATOR AND HTE CITY ENGINEERING PUBLIC WAY PERMIT PLAN REVIEWER.
- ELECTRICAL SERVICE CONDUCTORS MUST BE A MINIMUM OF 8' ABOVE ANY PORTION OF THE ADU.

CONTRACTOR RESPONSIBILITIES

THE PROVIDED SITE PLAN IS DRAWN SCHEMATICALLY. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR (GC) TO EXECUTE ANY/ALL REQUIRED SITE UTILITY & PREPARATION WORK IN ACCORDANCE WITH ALL APPLICABLE CODES & THE AUTHORITY HAVING JURISDICTION (AHJ). GENERALLY, THE GC SHALL BE RESPONSIBLE FOR THE COORDINATION, EXECUTION AND APPROVAL OF ALL WORK OUTSIDE OF THE MODULAR UNIT BUILDING ENVELOPE.

LEGEND - SITE PLAN

	MODULAR BUILDING FOOTPRINT
	EXISTING STRUCTURE FOOTPRINT
	NEW DECK/STAIRS FOOTPRINT
	ROOF OVERHANG ABOVE
	EXISTING DRIVEWAY
	DEMOLISH EXISTING STRUCTURE/HARDSCAPE
	PROPERTY LINE
	SETBACK LINES
	FIRE HOSE PULL/HYDRANT DISTANCE
	SEWER CLEAN-OUT. CLEANOUTS LOCATED ON DRIVE-WAY REQUIRE TRAFFIC RATED COVER.
	APPROX. EXISTING SEWER LINE - CONTRATOR TO FIELD LOCATE PER CODE
	APPROX. NEW SEWER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 4" SDR35 REQUIRED.
	APPROX. EXISTING WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. NEW WATER LINE - CONTRACTOR TO FIELD LOCATE PER CODE. 3/4" HDPE MIN. FIELD VERIFY SIZE TO MATCH EXISTING LATERAL FROM HOUSE TO METER.
	APPROX. EXISTING GAS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. EXISTING BURRIED ELECTRICAL/ TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE PER CODE
	APPROX. NEW ELECTRICAL/ TELECOMMUNICATIONS LINE - CONTRACTOR TO FIELD LOCATE - TRENCH & INSTALLATION SEPARATION PER UTILITY REQUIREMENTS & CODE



01 Site Plan
1" = 10'-0"

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

RANGE

STATE OF UTAH
JEREMY WILSON
6590833-0301
05/14/2020
LICENSED ARCHITECT

950 S STATE ST. SUITE 100, SALT LAKE CITY, UT 84102
WWW.RANGEARCHITECTURE.COM

Modal

MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

REVISIONS
PERMIT SET 05/14/2020
REVISION SETS
MARK DATE
PLOT DATE 05/14/2020
PROJECT 2033
DRAWN BY IK
CHECKED BY N/A
SHEET TITLE
TITLE SHEET, SITE PLAN

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

ABBREVIATIONS

A.B.	Anchor Bolt	Jan.	Janitor
A.B.C.	Aggregate Base Course	Jst.	Joist
AC.	Air Conditioning	JT.	Joint
Acoust.	Acoustical		
A.D.	Access Door, Area Drain	Kit.	Kitchen
Add.	Addendum, Addition	M.D.	Keyed Joint
Adj.	Adjustable	K.O.	Knock Out
A.F.F.	Above Finish Floor		
AL or Alum.	Aluminum	Lam.	Laminated
Alt.	Alternate	Lav.	Lavatory
&	And	L.B.	Lag Bolt
Angle	Angle	L.L.	Live Load
Anod.	Anodized	L.L.H.	Long Leg Horizontal
Arch.	Architectural	L.L.V.	Long Leg Vertical
Assy.	Assembly	Longit.	Longitudinal
		L.P.	Low Point
		L.W.C.	Light Weight Concrete
BD.	Board		
Btwn.	Between	Mas.	Masonry
B.O.F.	Bottom of Footing	MDF.	Medium Density Fiberboard
Bldg.	Building	M.D.O.	Medium Density Fiberboard-Outdoor
Blkg.	Blocking	M.O.	Masonry Opening
BM.	Ban.	Mtl.	Material
B.N.	Boundary Nail	Max.	Maximum
B.O.	Bottom of	Mech.	Mechanical
Bot.	Bottom	Memb.	Membrane
Brg.	Bearing	Mfr.	Metal
B.S.	Both Sides	Mfr.	Manufacturer
B.U.	Built-up	Min.	Minimum
		Misc.	Miscellaneous
C.(or I)	Channel		
CBC	California Building Code	N.	North
Cer.	Ceramic	N.A.	Not Applicable
C.B.	Catch Basin	N.I.C.	Not in Contract
CIP	Cast-in-place	N.T.S.	Not to Scale
C.J.	Control Joint	Number	Number
CL	Centerline		
Clg.	Ceiling	O.C.	On Center
Cir.	Clear(ance)	O.D.	Outside Diameter
CMU	Concrete Masonry Unit	O.F.	Overflow, Outside Face
Clos.	Closet	O.F.C.I.	Owner Furnished/Contractor Installed
C.O.	Clean-out	O.H.	Opposite Hand
Col.	Column	Opg.	Opening
Comp.	Composite	Opp.	Opposite
Conc.	Concrete		
Const.	Construction	PL.	Plate
Cont.	Continuous	Perim.	Perimeter
Coord.	Coordinate	Perp.	Perpendicular
Corr.	Corridor	P.Lam.	Plastic Laminate
Cr.	Center	Plas.	Plaster
		Plast.	Plastic
d	Penney (nail size)	P.D.	Planter Drain
D.P.	Damp Proofing	P.L.F.	Per Lineal Foot
DBA.	Dark Bronze Anodized	Plywd.	Plywood
D.F.	Douglas Fir	P.S.F.	Pounds Per Square Foot
Dbl.	Double	P.S.I.	Pounds Per Square Inch
Dia.	Diameter	P.T.	Pressure Treated, Post-tensioned
Diag.	Diagonal	P.T.S.	Post-tensioned Slab
Diaphragm	Diaphragm	PV	Photovoltaic
Dim	Dimension	PVC	Polyvinyl Chloride
D.L.	Dead Load		
DN	Down	R.C.P.	Reflected Ceiling Plan
DR.	Door	R.D.	Roof Drain
D.S.	Downspout	Ref.	Refer(ence)
Dtl.	Detail	Reinf.	Reinforcing
Dwg.	Drawing	Reqd.	Required
Dwls.	Dowels	Rqmt.	Requirements
		Resil.	Resilient
E	East	Retain(ing)	Retain(ing)
EA.	Each	RM.	Room
E.B.	Expansion Bolt	R.O.	Rough Opening
E.J.	Expansion Joint		
Elec.	Electric(al)	S.	South
Elev.	Elevation	SC.	Scale, Screw, Solid Core
EN	Edge Nail	Sched.	Schedule
Encl.	Enclosure	SQF.	Square Feet
EQ.	Equipment	Sht.	Sheet
Equip.	Equipment	Sim.	Similar
E.W.	Each Way	SH.	Single Hung
Ext.	Exterior	Sldr.	Slider
Exist.	Existing	S.M.F.E.	Surface-mounted Fire Extinguisher
		Spec.	Specification
FACP	Fire Access Control Panel	Sq.	Square
F.B.	Flat Bar	S.S.	Stainless Steel
F.D.	Floor Drain	Stagg.	Staggered
Fdn.	Foundation	Std.	Standard
F.E.C.	Fire Extinguisher Cabinet	Stiff.	Stiffener
F.F.	Finish Floor, Factory Finish	Stor.	Storage, Storefront
F.F.E.	Finished Floor Elevation	Str.	Structural
F.G.	Finished Grade	Str.	Steel
	Pultruded Fiberglass	Sym.	Symmetrical
F.H.C.	Fire Hose Cabinet		
F.H.(M.J.S.)	Flat Head Screw	T.	Tread, Tempered
Fin.	Finish	T&G	Tongue and Groove
Flr.	Floor	Thr.	Threshold
Fluor.	Fluorescent	T.I.	Tenant Improvement
F.M.C.	Floor Material Change	T.J.	Tooled Joint
F.N.	Field Nailing	T.N.	Toe Nailed
F.O.	Face of (specify item)	T.O.	Top of (specify item)
F.O.B.	Face of Brick	T.O.C.	Top of Curb
F.O.C.	Face of Concrete	T.O.G.	Top of Grate
F.O.F.	Face of Finish	T.O.P.	Top of Plate
F.O.M.	Face of Masonry	T.O.S.	Top of Sheathing
F.O.P.	Face of Panel	T.O.W.	Top of Wall
F.O.S.	Face of Stud	Typ.	Typical
FT.	Foot, Feet		
Ftg.	Footing	U.N.O.	Unless Noted Otherwise
F.S.	Finish Surface, Floor Sink	U.L.	Undersinkers Laboratory
		URM	Unreinforced Masonry
GA.	Gauge		
Galv.	Galvanized	Vent.	Ventilator, Ventilation
G.I.	Galvanized Iron	Vert.	Vertical
GL.	Glass	V.R.	Vapor Retarder
G.L.B.	Glu-lam beam	V.T.R.	Vent Through Roof
GWb	Gypsum Wall Board	V.T.W.	Vent Through Wall
		VN.	Vinyl
H.B.	Hose bibb	V.W.C.	Vinyl Wall Covering
HC.	Hollow Core	V.C.L.	Vinyl Chain Link
HCMB.	Honeycomb Core	V.C.T.	Vinyl Composition Tile
HD.	Head		
Hdr.	Header	W.	West
Hdwr.	Hardware	Wdw.	Window
Hgr.	Hanger	W/	With
Horiz.	Horizontal	W/GL.	Wire Glass
HR.	Hour	W.H.	Water Heater
HM.	Hollow Metal	W/O	Without
H.S.S.	Hollow Structural Section	WP.	Waterproof
HT.	Height	W.P.J.	Weakened Plane Joint
HVAC	Heating, Ventilation and Air Conditioning	W.R.	Water Resistant
	Hot Water	WT.	Weight
H.W.		W.W.F.	Welded Wire Fabric
		W.W.M.	Welded Wire Mesh
I.D.	Inside Diameter	WD.	Wood
IN.	Inch		
Incl.	Included		
Insul.	Insulation		
Int.	Interior		

LEGEND - PROJECT SYMBOLS

	Keynote
	Window/Storefront Tag
	Door Tag
	Wall/Floor/Ceiling/Roof Type
	Wall, Floor, Base, Ceiling Finish Tag. This symbol when attached to a wall shall indicate this finish for entire length of wall from one intersection to the next and not be terminated by windows or doors U.N.O.
	Datum Tag Indicates Item or Floor Level Being Referenced Elevation Datum
	Revision Tag Delta Symbol & Revision Number Revision Cloud Around Area of Change
	Enlarged Drawing/Detail Reference Detail Number Sht. No. Detailed Area
	Building Section Reference Dwg. No. Sht. No.
	Wall Section Reference Dwg. No. Sht. No.
	Elevation Tag Dwg. No. Sht. No.
	Finish Tag Corresponding Wall Finishes Base Finish Floor Finish
	Grid Line Reference - Wood Structure
	Dimension - Denoting Face of Structure/Framing U.N.O.
	Dimension - Denoting Centerline
	Dimension - Denoting Face of Finish/Clear
	Shaft or Opening

GENERAL RESIDENTIAL NOTES

- It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may effect the cost of scheduling construction activities, prior to submitting a bid.
- Contractor shall be responsible for verifying all dimensions and conditions at the job site including soil conditions, and other conditions related to the existing utilities and services prior to commencing work.
- Do not scale drawings or details - use given dimensions. Check details for location of all items not dimensioned on plans. Dimensions on plans are to face of framing, exterior face of foundation, or centerline of columns, unless noted otherwise.
- Doors and cased openings without dimensions are to be four and one half (4-1/2) inches from face of adjacent wall or centered between walls.
- The drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturer recommendations. Contractor shall notify the architect of any resulting conflicts prior to commencing work.
- All work shall conform to applicable building codes and ordinances. In case of any conflict wherein the methods or standards of installation or the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern.
- Consulting engineer(s) drawings are supplementary to the architectural drawings. It shall be in the responsibility of each contractor to check with the architectural drawings before installation of their work. Any discrepancy between the architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the architect and owner's attention in writing. Any dimensions, tags or details not shown shall be requested by the contractor to the architect.
- This project contains glazing that will be subject to federal and local glazing standards and the glazing subcontractor shall be responsible for adherence to these requirements. If the glazing subcontractor finds discrepancies in the documents not in compliance with the standards, he/she shall bring discrepancies to the attention of the architect before proceeding.
- All glazing in hazardous locations, defined by IRC R308.4, shall be safety glazing, including but not limited to the safety glazing identified in the construction documents.
- Install dust barriers and other protection as required to protect installed finishes and facilities.
- There shall be no exposed pipe, conduits, ducts, vents, etc. All such lines shall be concealed or furred and finished, unless noted as exposed construction on drawings. Offset studs where required, so that finished wall surface will be flush.
- Contractor shall provide temporary bracing for the structure and structural components until all final connections have been completed in accordance with the plans.
- Carry all footings to solid, undisturbed original earth. Removal all suitable material under footings and slab and replace with concrete or compacted fill as directed by engineer and architect.
- All wood framing details not shown otherwise shall be constructed to the minimum standards of the IRC.
- All wood in direct contact with concrete or exposed to weather shall be pressure treated with an approved preservative unless decay resistant heartwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze, or copper.
- Nail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7" o.c. maximum spacing unless shown otherwise. Use 5d for 1/2" wallboard, 6d for 5/8" wallboard.
- Provide galvanic insulation between dissimilar metals.
- The contractor is to verify the location of all utilities and services to the site prior to beginning any site improvements.
- No materials from the work are to be stock piled on public right-of-ways. All rubbish and debris is to be removed from the site.
- Adjacent properties, streets and walks are to be protected from damage at all times.
- The contractor shall secure permits required by the fire department prior to building occupation.
- The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project.
- Approved plans shall be kept in a plan box and shall not be used by any workmen. All construction sets shall reflect the same information. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addenda and change orders on the premises at all times. Said plans are to be under the care of the job superintendent. The contractor and/or the sub-contractors shall apply for, obtain, and pay for all required permits and fees except for the building permit.
- Construction hours, per jurisdiction, are to be observed for all phases of the project.
- Class "A" roofing is required for fire protection.
- Remove all vegetation, organic material and wood formwork from under-floor grade before the building is occupied for any reason.
- Fireblocking shall be provided to cut off all concealed draft openings (both vertical & horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space, including the following: vertically at ceiling and floor levels, horizontally at intervals not exceeding 10 feet, at all interconnections between concealed vertical & horizontal spaces such as soffits, drop and cove ceilings, in concealed spaces between stair stringers at the top and bottom of the run, and at openings around vents, pipes, and ducts at ceiling and floor level with an approved material to resist the free passage of flame.
- Wall covering products sensitive to adverse weather shall not be installed until adequate weather protection for the installation is provided. Exterior sheathing shall be dry before applying exterior cover.
- Interior coverings or wall finishes shall be installed in accordance with IRC chapter 7 and tables R702.1(1), R702.1(2), R702.1(3) and R702.3.5. Interior masonry veneer shall comply with the requirements of R703.7.1 for support and section R703.7.4 for anchorage, except an air space is not required. Interior finishes and materials shall conform to the flame spread and smoke density requirements of R302.9.
- Unless specified otherwise, all coverings shall be fastened in accordance with table R703.3 or with other approved aluminum, stainless steel, zinc-coated or other corrosion-resistive fasteners.
- Installation of appliances shall conform to the conditions of their listing and label and manufacturer's installation instructions. The manufacturer's operating and installation instructions shall remain attached to the appliance.
- A permanent factory-applied nameplate shall be affixed to appliances on which shall appear, in legible lettering, the manufacturers name or trademark, the model number, serial number, and the seal or mark of the testing agency. The hourly rate in btu/h(w), type of fuel or electrical rating and other information as described in IRC M1303.1 and G2404.3 shall be required on the label.
- Where conflicts occur between the IRC and the conditions of listing or the manufacturer's installation instructions occur, the provisions of the code shall apply.
- Fuel-fired appliances shall be designed for use with the type of fuel to which they will be connected and the altitude at which they are installed. Appliances that comprise parts of the building mechanical system shall not be converted. The fuel input rate shall not be increased or decreased beyond the limit rating for the altitude at which the appliance is installed.
- The building or structure shall not be weakened by the installation of mechanical systems. Where floors, walls, ceilings or any other portion of the building or structure are required to be altered or replaced in the process of installing or repairing any system, the building or structure shall be left in a safe structural condition in accordance with the IRC.
- Heat-producing equipment and appliances shall be installed to maintain the required clearances to combustible construction as specified in the listing and manufacturer's instructions. Reduction of clearances shall be in accordance with manufacturer's instructions and IRC table M1306.2 or IMC section 308. Clearances to combustibles shall include such considerations as door swing, shutters, coverings and drapes. Devices such as door stops or limits, closers, drapery ties or guards shall not be used to provide adequate clearances.

RANGE

STATE OF UTAH
JAMES WILSON
6590833-0301
05/14/2020
LICENSED ARCHITECT

950 S. STATE ST. SUITE 100
SALT LAKE CITY, UT 84102
WWW.RANGEARCHITECTURE.COM

MODAL 01 ADU - WILLIAMS

1072 S. Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS
MARK DATE

PLOT DATE 05/14/2020

PROJECT 2023

DRAWN BY IK

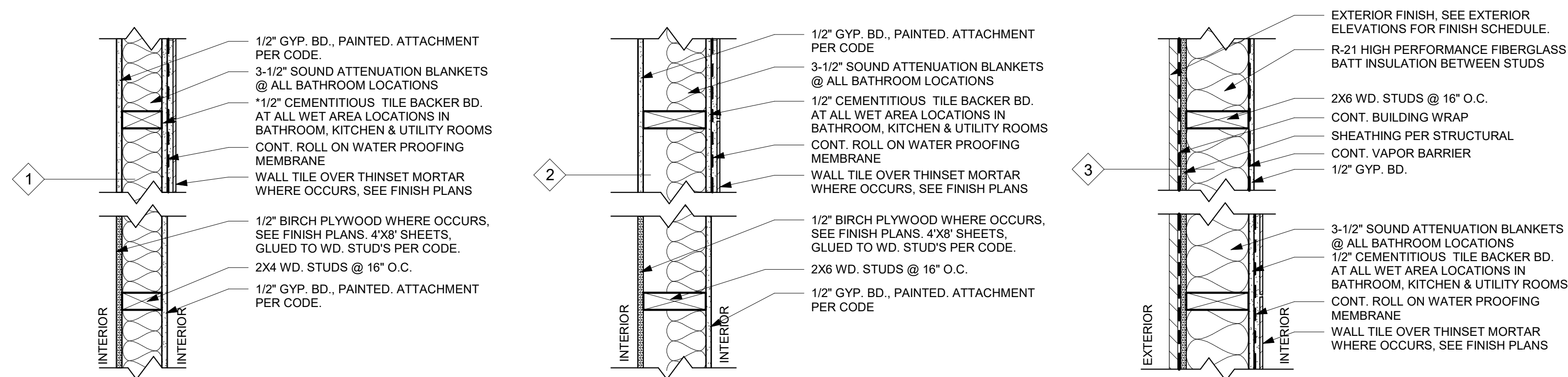
CHECKED BY N/A

SHEET TITLE

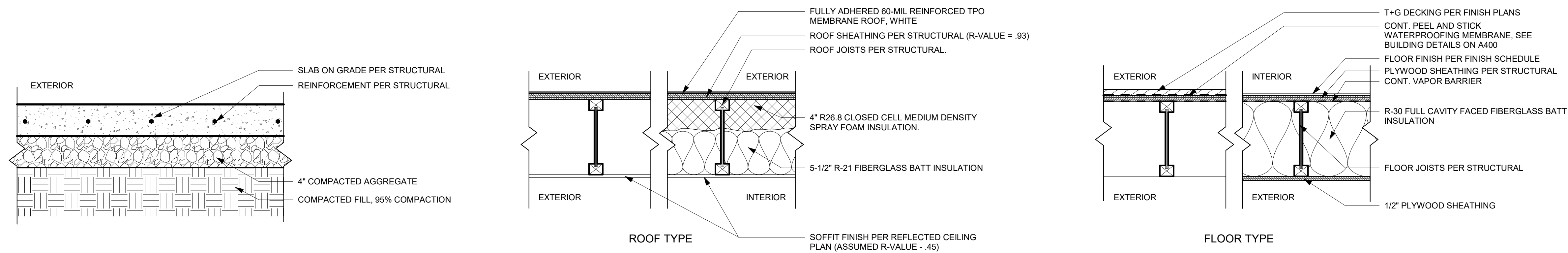
NOTES,
ABBREVIATIONS,
SYMBOLS, GENERAL
NOTES

G002

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXCLUSIVE WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. THE FULL EXTENT OF LEGAL ACTION

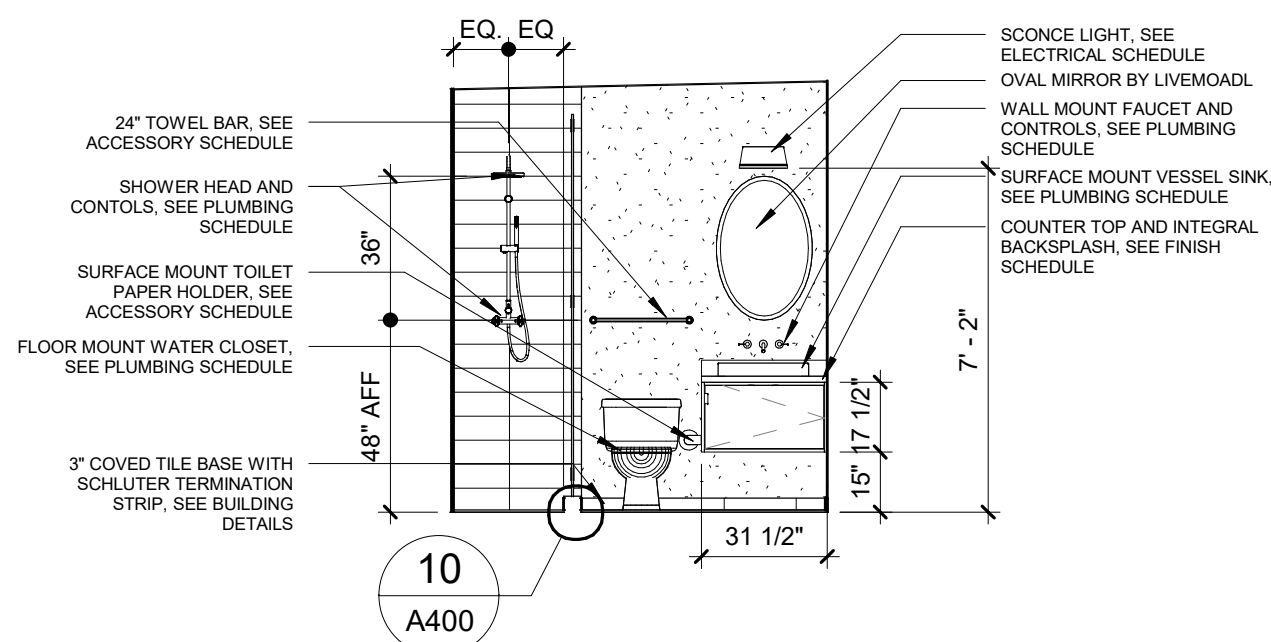


LEGEND - WALL TYPES

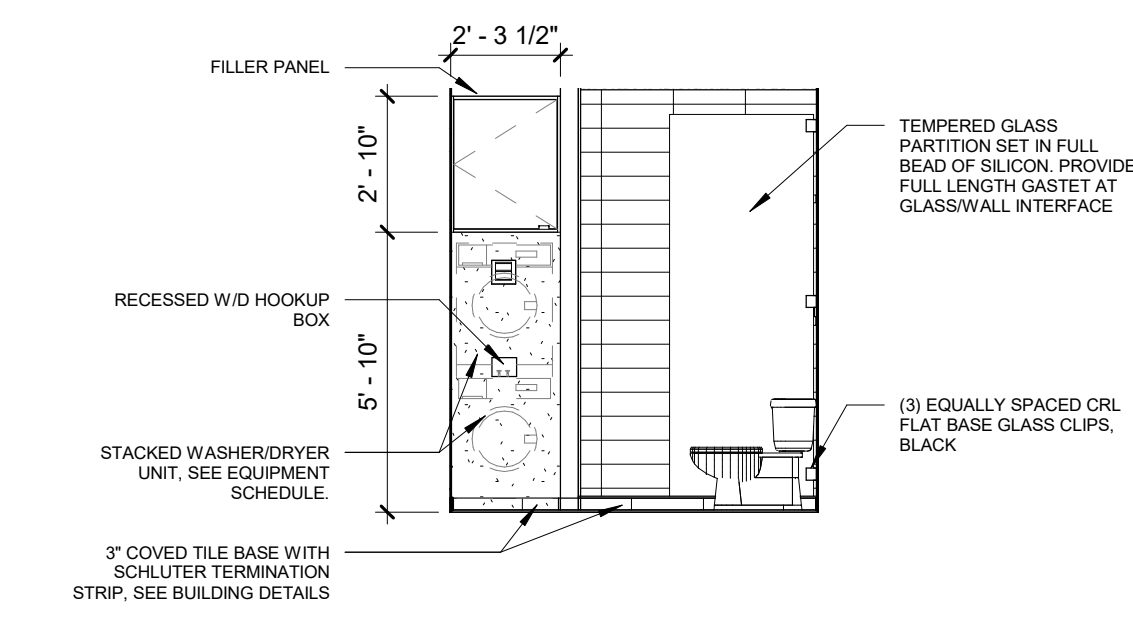


LEGEND - FLOOR & ROOF TYPES

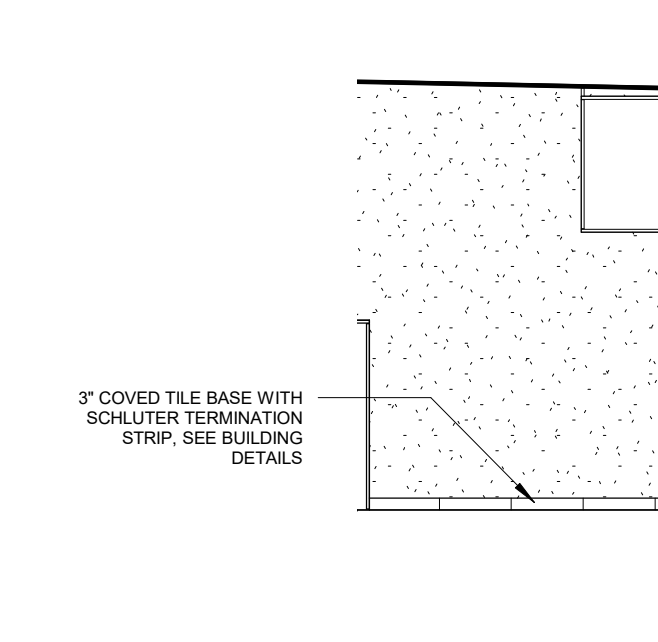
THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXCLUSIVE WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. THE FULL EXTENT OF LEGAL ACTION



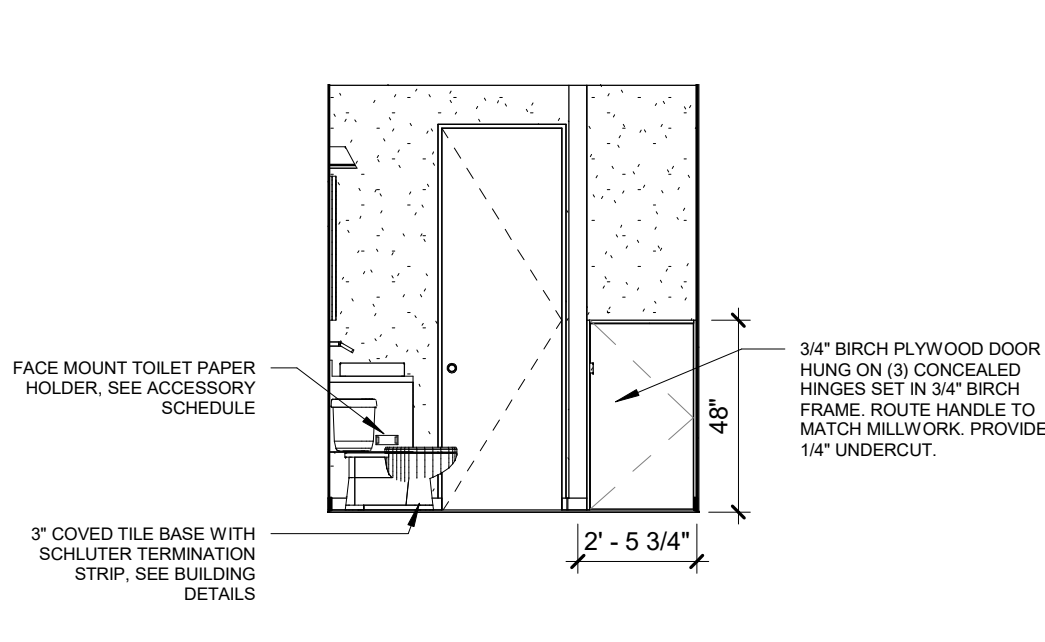
15 Bathroom - West
1/4" = 1'-0"



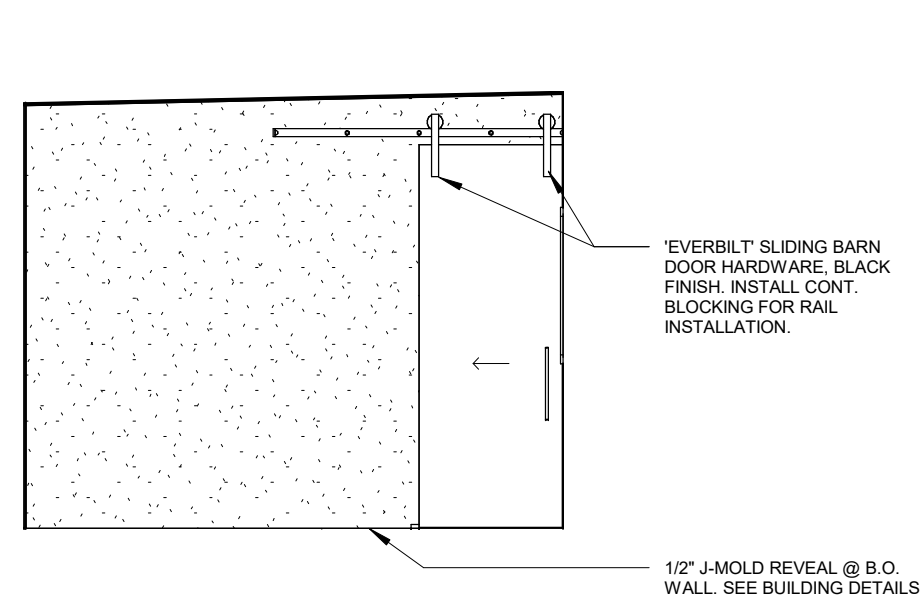
14 Bathroom North
1/4" = 1'-0"



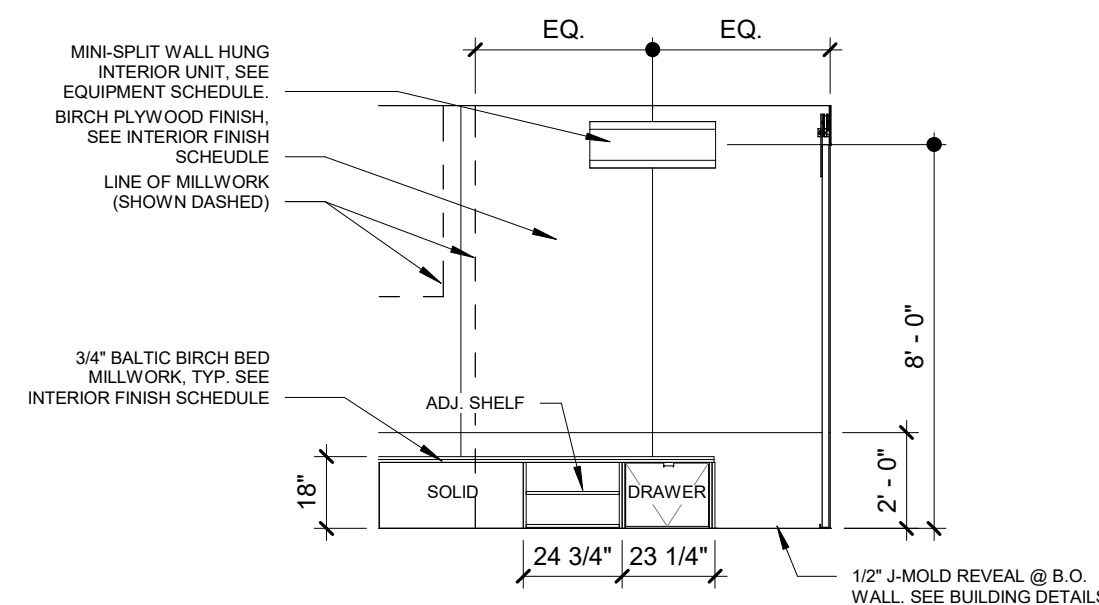
13 Bathroom - East
1/4" = 1'-0"



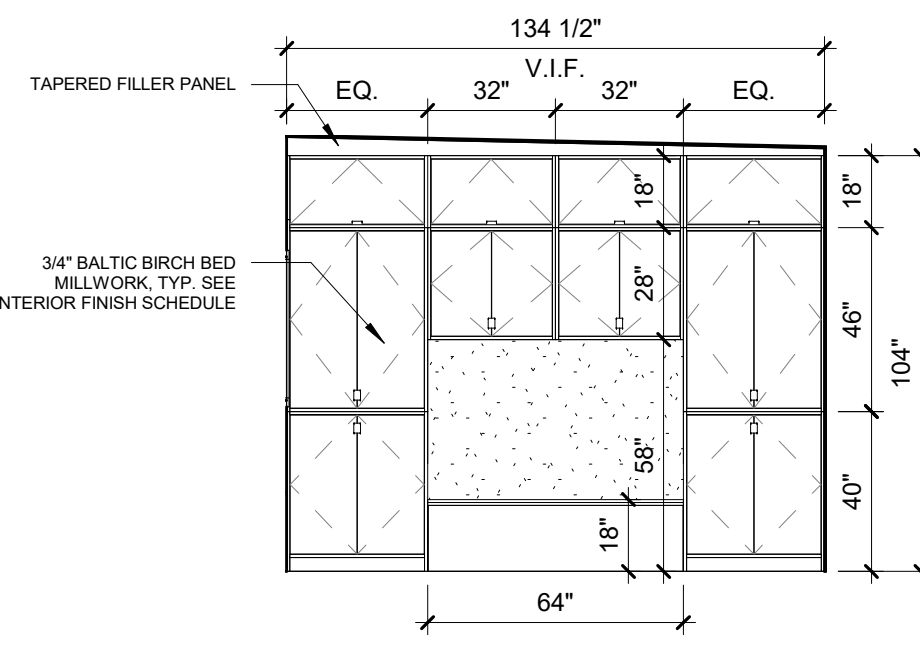
12 Bathroom - South
1/4" = 1'-0"



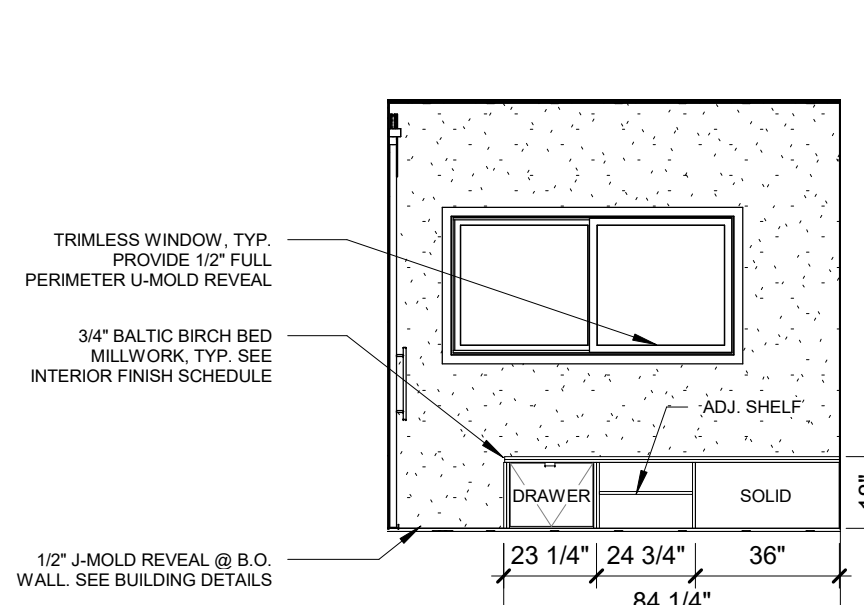
11 Bedroom - West
1/4" = 1'-0"



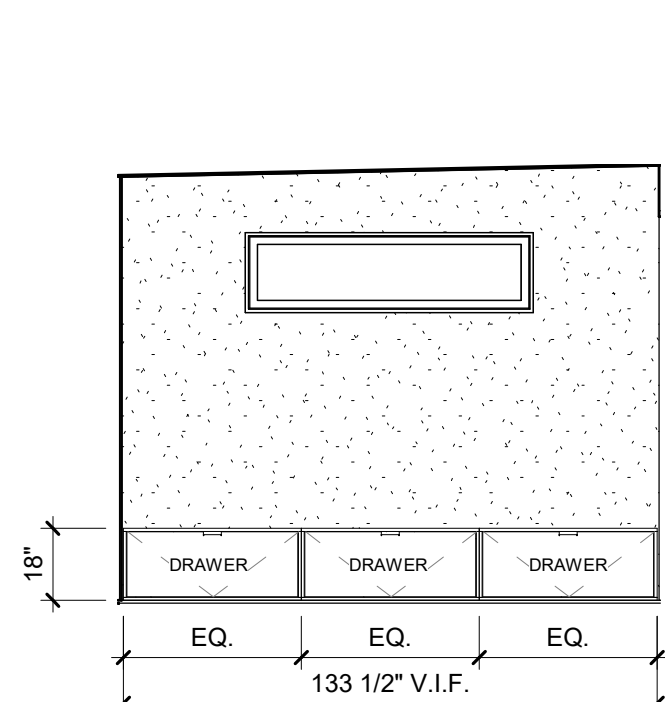
10 Bedroom - North
1/4" = 1'-0"



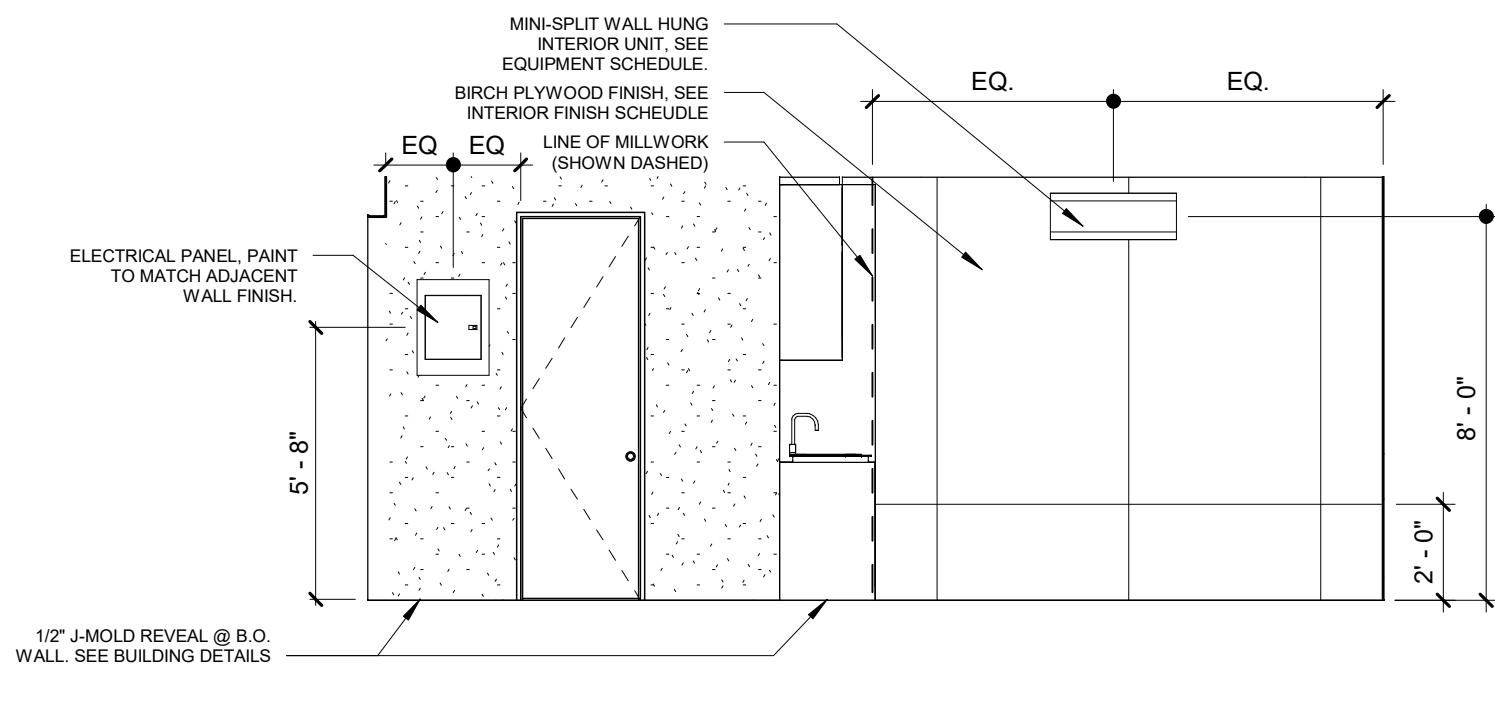
09 Bedroom - East
1/4" = 1'-0"



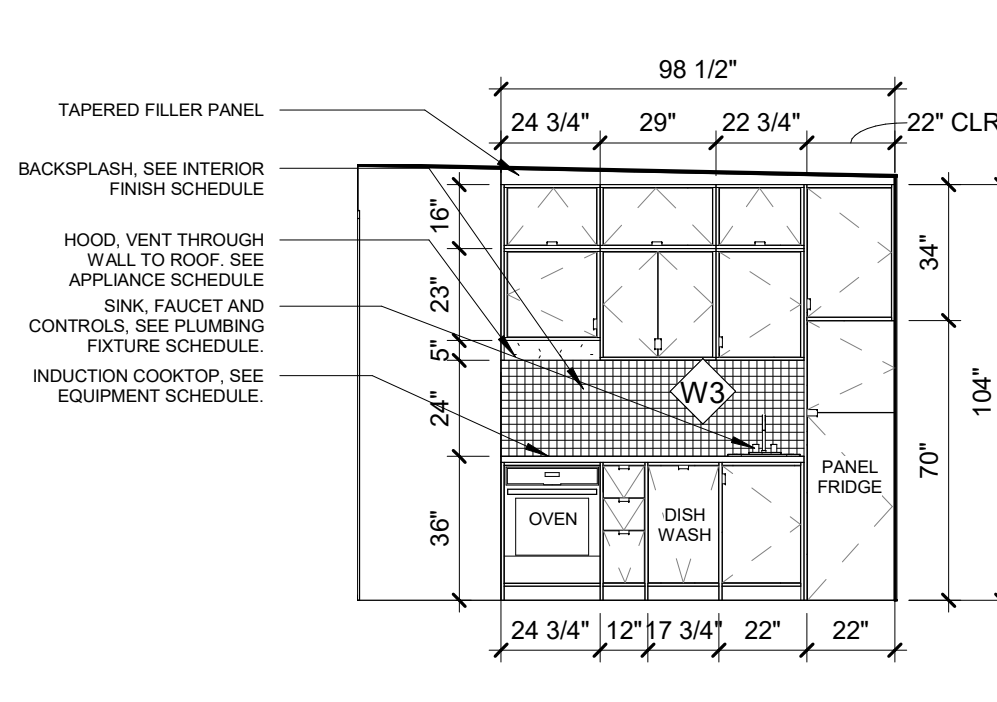
08 Bedroom - South
1/4" = 1'-0"



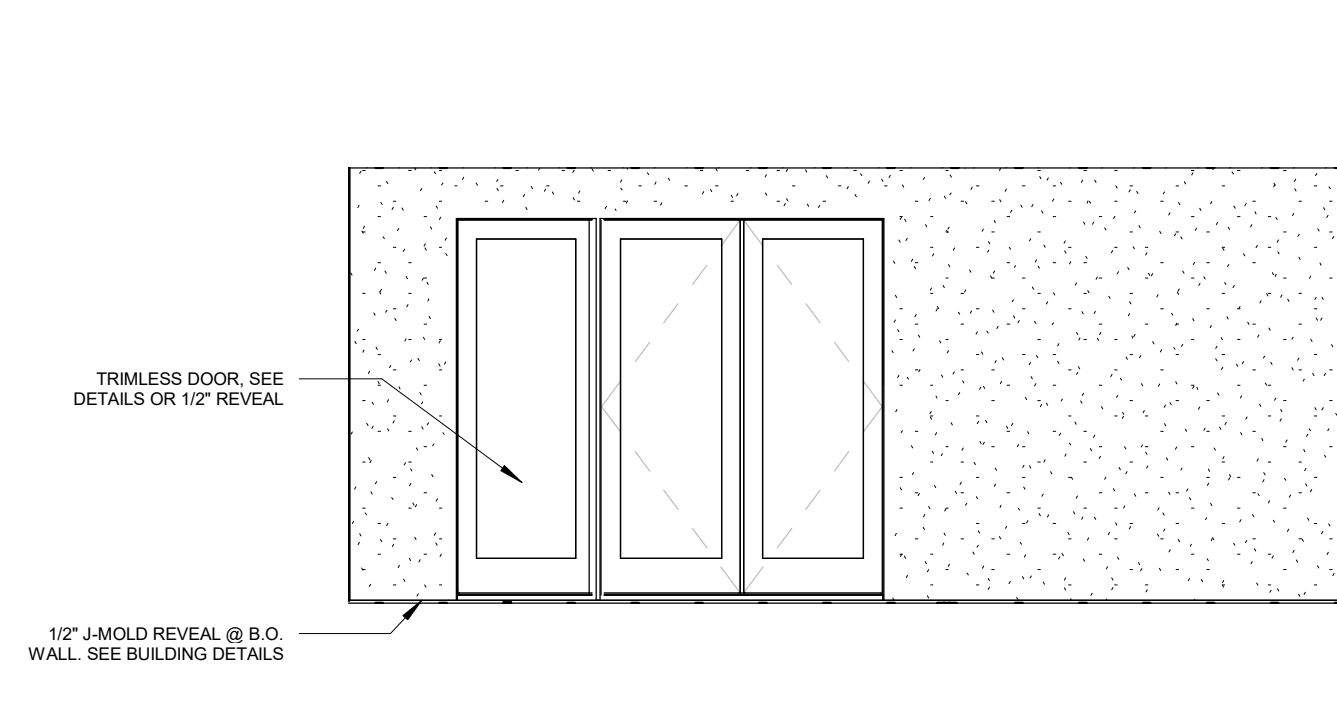
07 Living - West
1/4" = 1'-0"



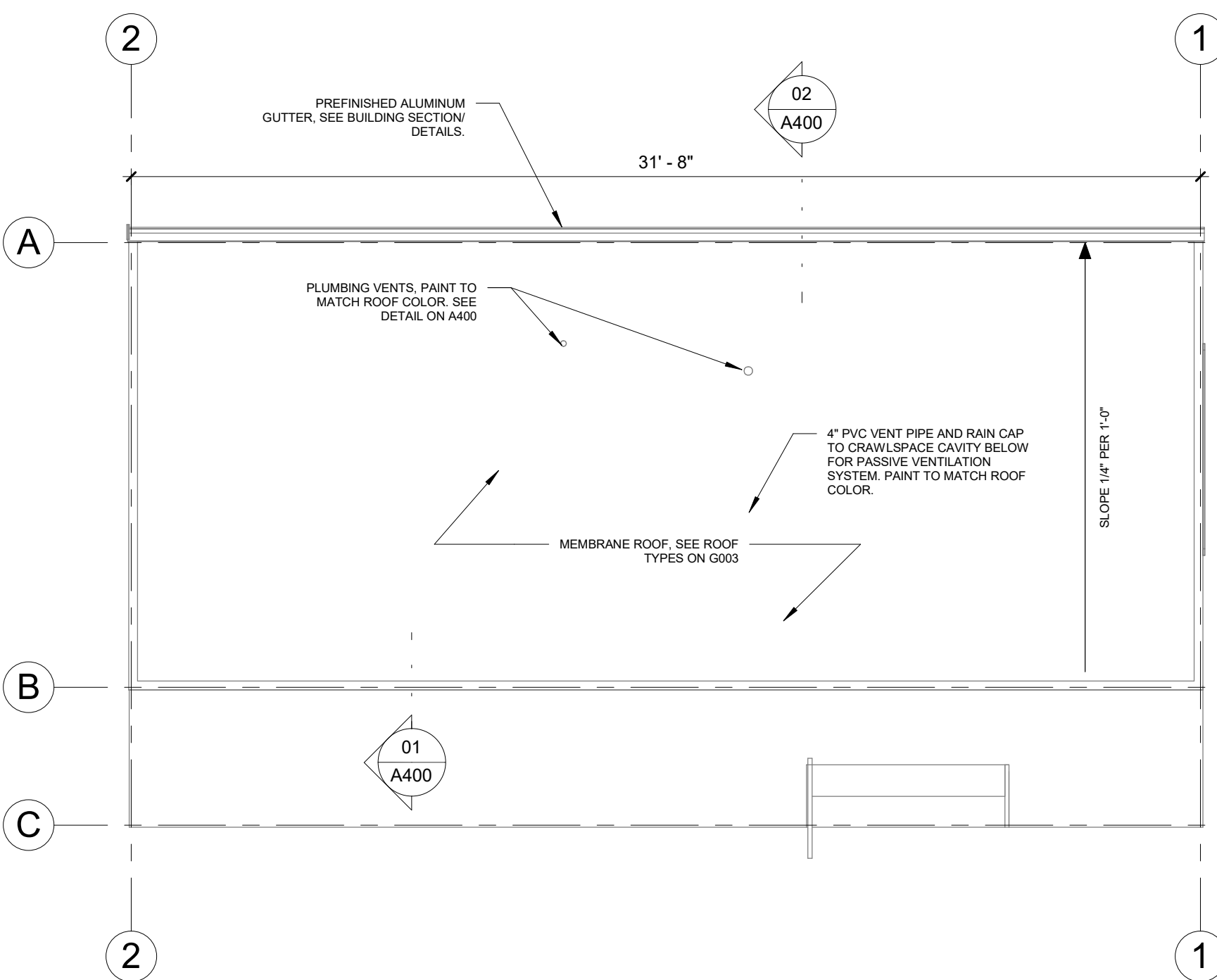
06 Living - North
1/4" = 1'-0"



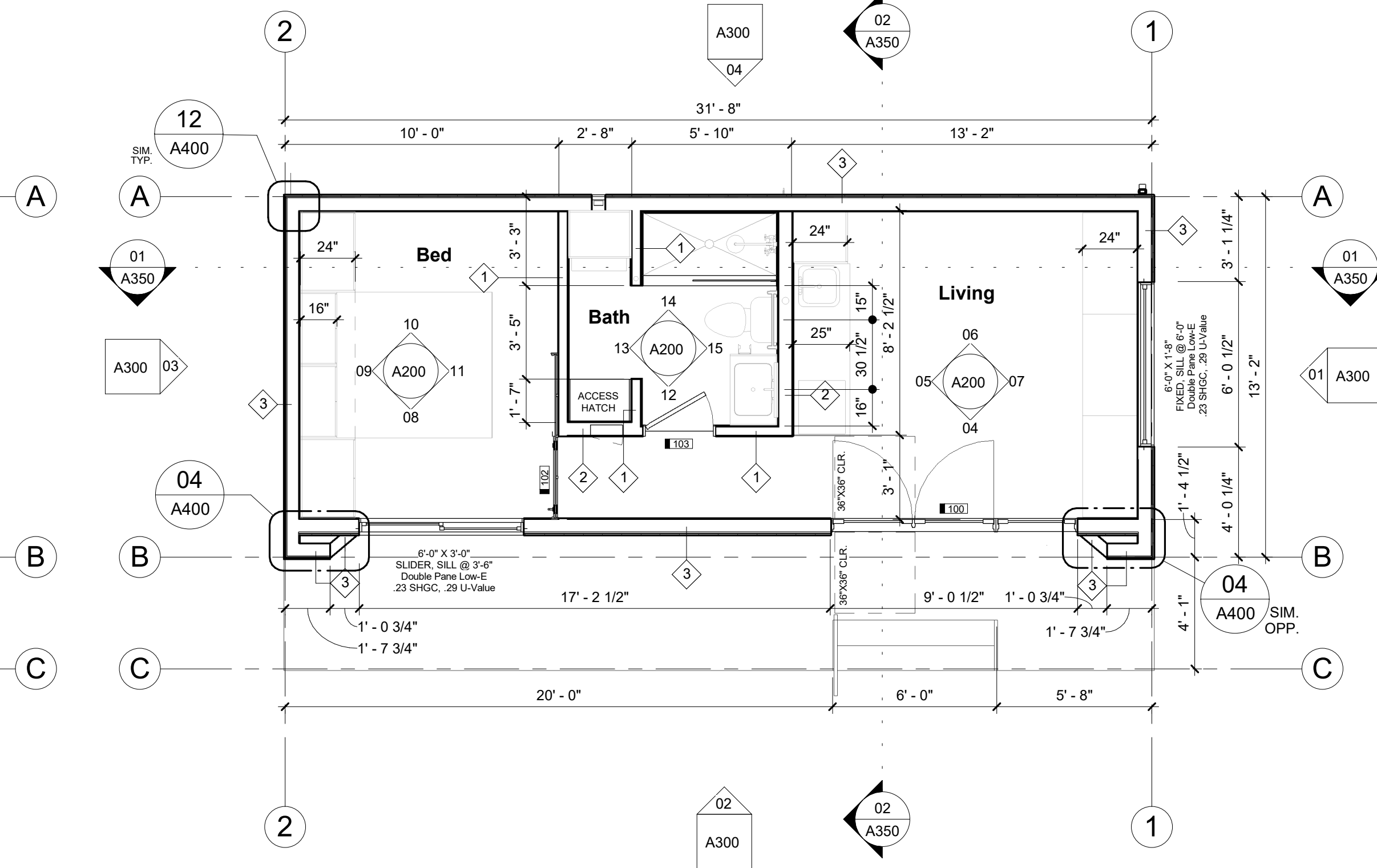
05 Living - East
1/4" = 1'-0"



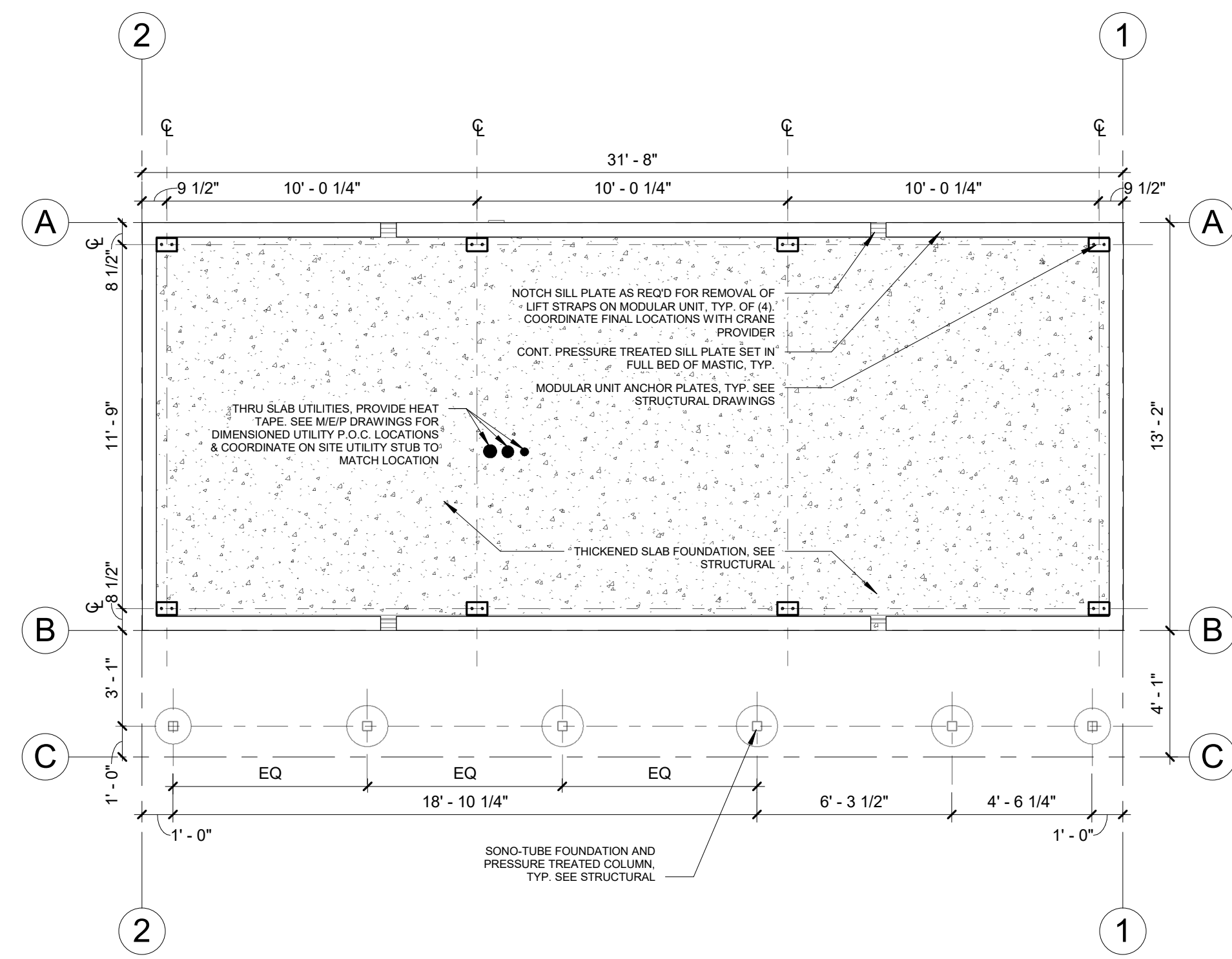
04 Living - South
1/4" = 1'-0"



03 Roof Plan



02 Floor Plan
1/4" = 1'-0"

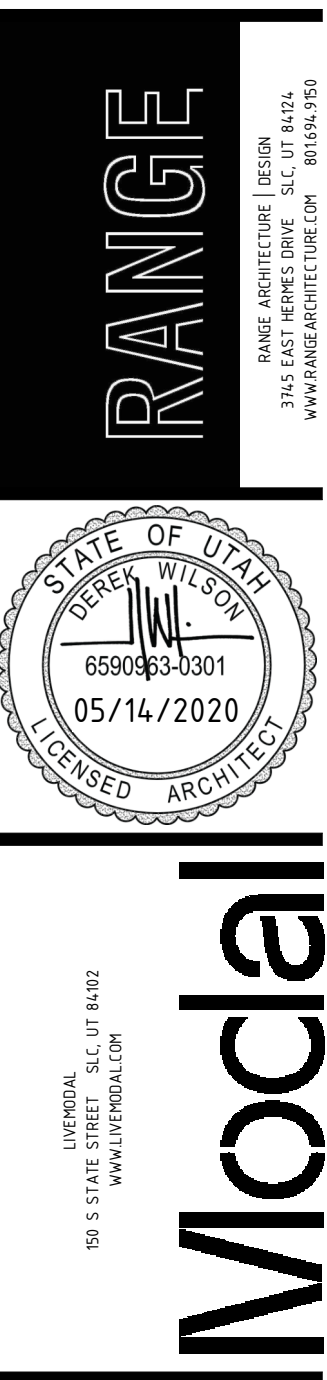
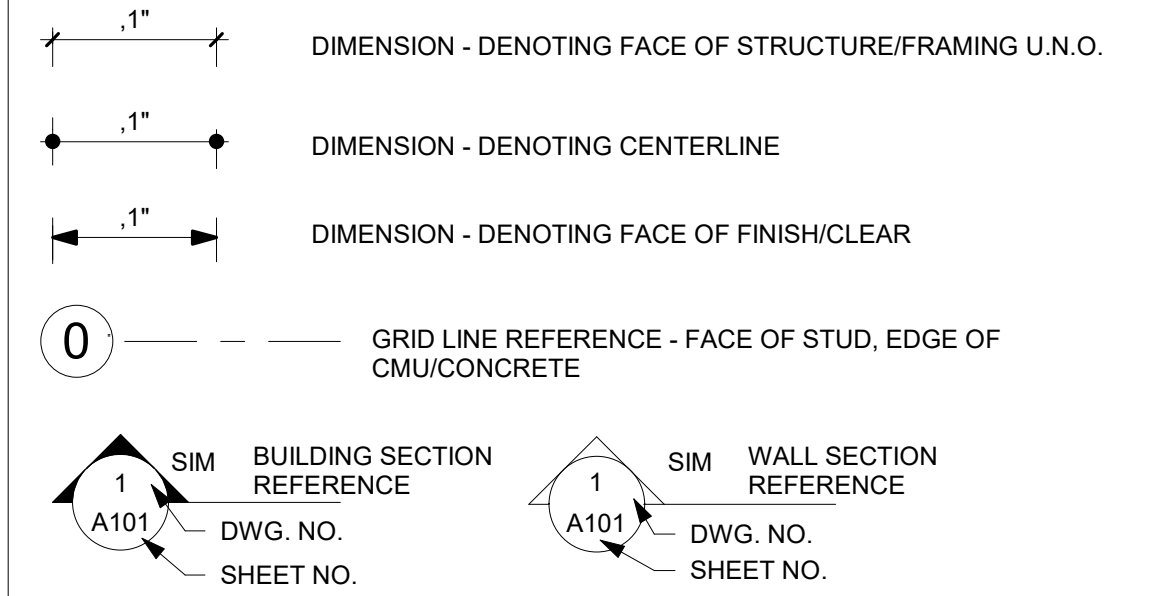


Foundation Plan

GENERAL NOTES - FLOOR PLAN

1. WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF WALL ASSEMBLIES, U.N.O.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
3. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
4. SEE SITE PLAN FOR OVERALL SITE DIMENSIONS AND NOTES NOT SHOWN. ALL GRID LINES INDICATE CENTER OF STRUCTURAL WALL OR FACE OF STRUCTURAL MATERIAL, U.N.O.
5. WINDOW TYPES AND LOCATIONS SHALL BE AS PER BUILDING PLANS, NOT ENLARGED PLANS.
6. SEE ENLARGED PLANS FOR DIMENSIONS, TAGS, KEYNOTES, NOTES, ETC. NOT SHOWN.
7. SEE FINISH LEGEND FOR TYPICAL FINISHES, U.N.O.
8. SEE REFLECTED CEILING PLANS FOR LOCATIONS AND DIMENSIONS OF SOFFITED AREAS.
9. PROVIDE AND INSTALL 2X FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
11. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS. AT AREAS OF TRANSITION BETWEEN DIFFERENT WALL ASSEMBLIES, MAINTAIN THICKEST LAYER OF SUBSTRATE OR FINISH TO PROVIDE A FLUSH FINISHED SURFACE IN ALL DIRECTIONS TO NEAREST PERPENDICULAR SURFACE (WALL, CEILING, ETC.), U.N.O.
13. PROVIDE BATT INSULATION AT INTERIOR WALLS FOR ACOUSTIC PURPOSES AT BATHROOMS, LAUNDRY ROOMS AND MECHANICAL ROOMS, U.N.O.
14. ALL BLOCKOUTS IN SLABS' WALLS, FOOTINGS AND P.T. SLABS WHERE OCCUR SHALL BE COORDINATED AND PROVIDED, EVEN IF NOT SPECIFICALLY SHOWN ON DRAWINGS.

LEGEND - FLOOR PLAN



MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

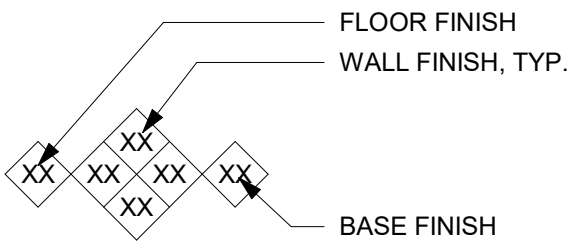
PERMIT SET	05/14/2020
REVISION SETS	
MARK	DATE
PLOT DATE	05/14/2020
PROJECT	2033
DRAWN BY	IK
CHECKED BY	N/A
SHEET TITLE	

FLOOR PLAN, ROOF
PLAN, INTERIOR
ELEVATIONS

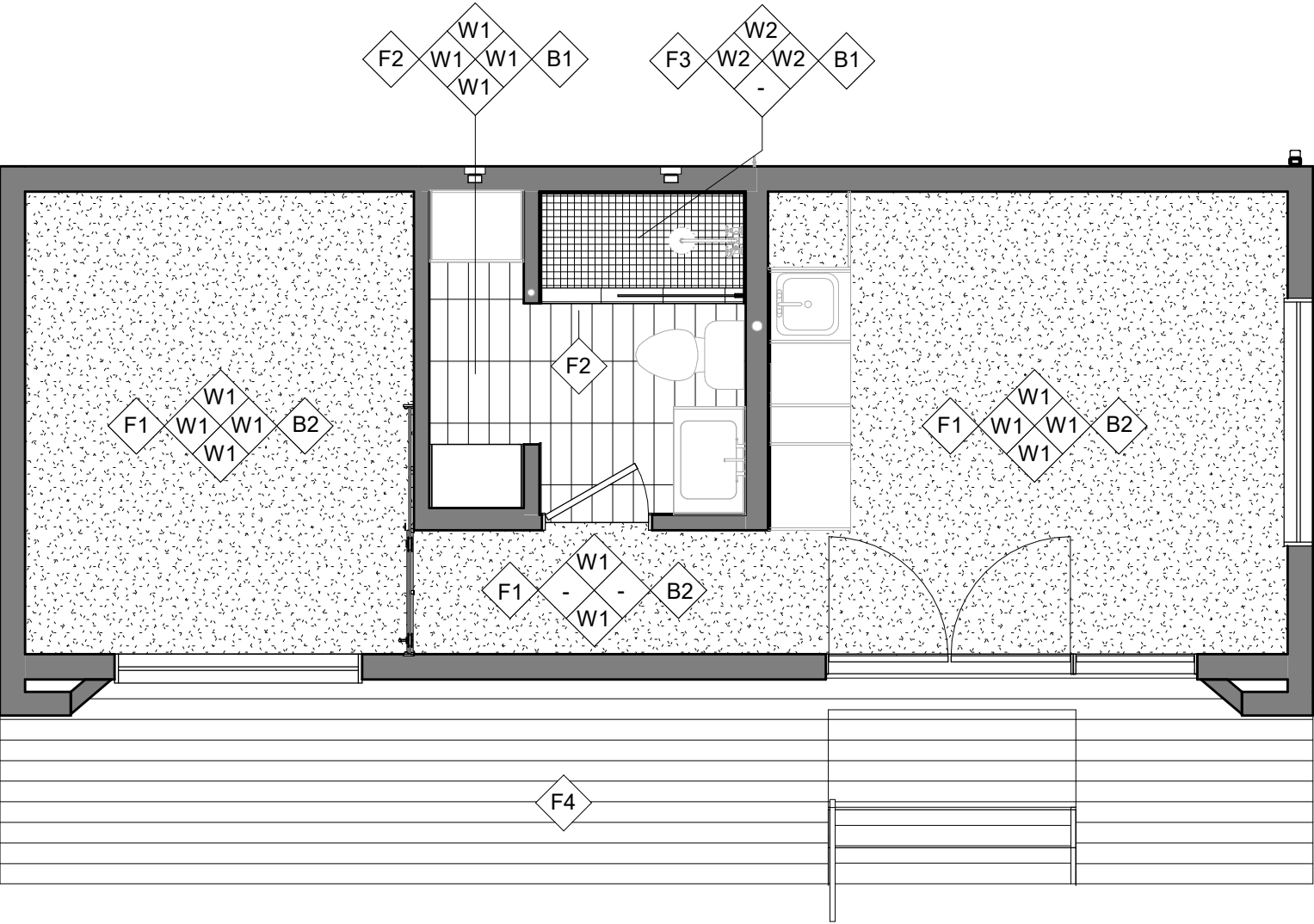
A200

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

MARK	MATERIAL	MANUFACTURER	COLOR / MODEL #
FLOOR			
F1	LINOLEUM	FORBO	MARMOLEUM - CONCRETE
F2	TILE	TBD	WHITE
F3	TILE - ACCENT	TBD	WHITE
F4	EXTERIOR DECKING	TREX	COLOR TO MATCH EXTERIOR SIDING
BASE			
B1	3" COVED TILE	TBD	WHITE
B2	1/2" GYP. BD. REVEAL	TBD	TBD
WALLS			
W1	GYP. BD. - PAINTED	TBD	TBD
W2	TILE	TBD	WHITE
W3	TILE - ACCENT	TBD	WHITE
W4	NOT USED	N/A	N/A
W5	1/2" BIRCH PLYWOOD	TBD	CLEAR COAT
CEILINGS/SOFFITS			
C1	GYPBOARD - PAINTED	TBD	TBD
C2	1/2" BIRCH PLYWOOD	TBD	CLEAR COAT
COUNTERS			
CT1	QUARTZ	TBD	WHITE
CT2	TBD	N/A	N/A
MILLWORK			
M1	BIRCH PLYWOOD - SEALED	TBD	CLEAR COAT SEALANT
M2	NOT USED	N/A	N/A

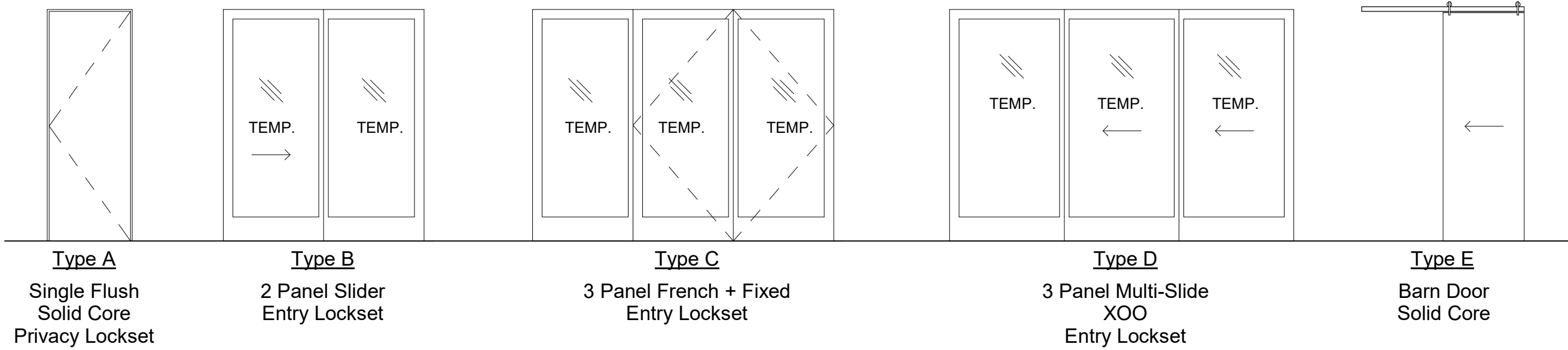


INTERIOR FINISH SCHEDULE & LEGEND

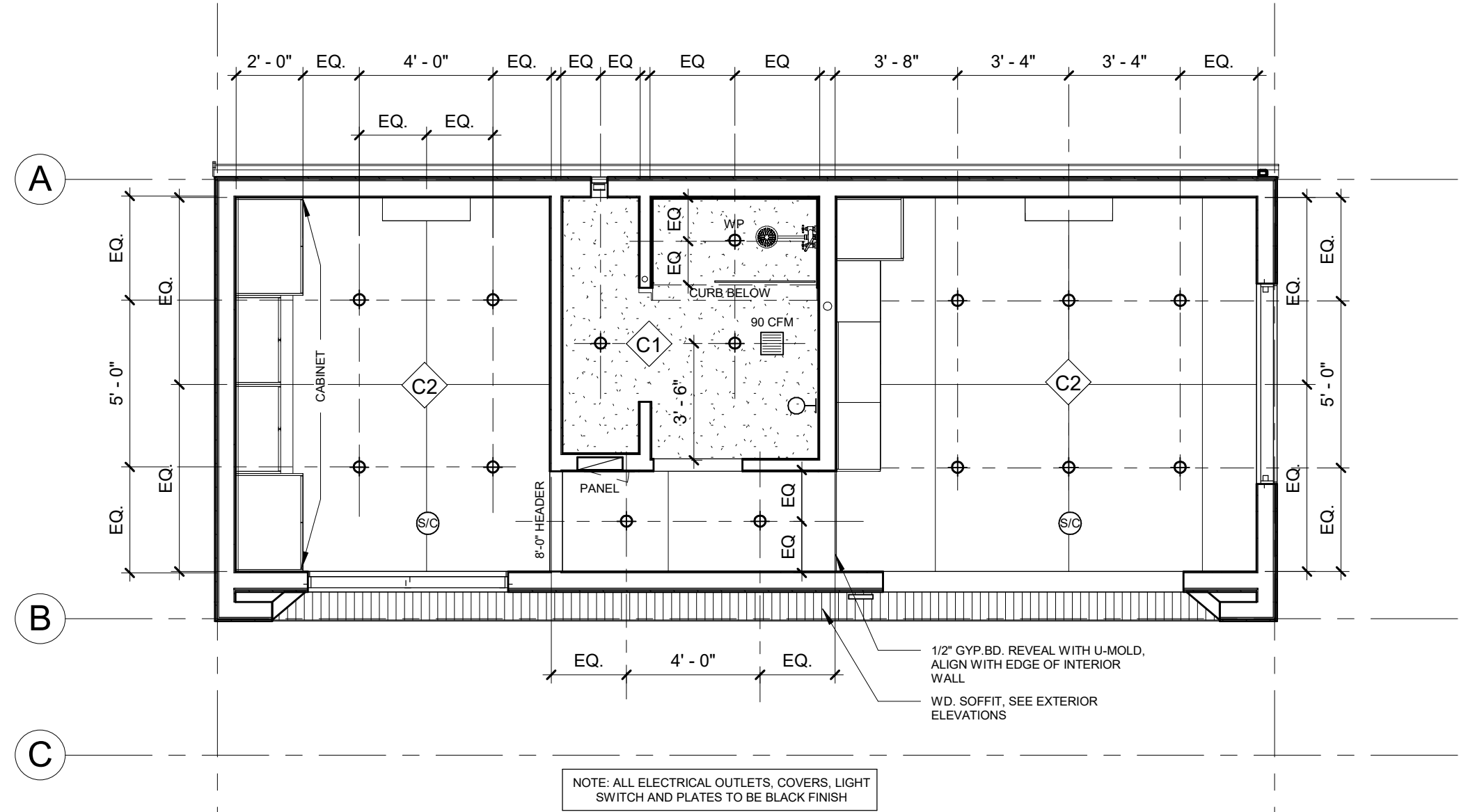


02 Finish Plan & Schedule
1/4" = 1'-0"

DOOR SCHEDULE									
Mark	Type	Door			Material	Finish	Frame		Comments
		Width	Height	Thickness			Material	Finish	
100	C	9' - 0"	8' - 0"	0' - 1 3/4"	ALUMINUM CLAD WOOD & GLASS	BLACK	ALUMINUM CLAD WOOD - EXTERIOR, FRAMLESS W/ 1/2" REVEAL - INTERIOR	BLACK	.18 SHCG, .29 U-VALUE
102	E	3' - 0"	8' - 0"	0' - 1 3/4"	SOLID CORE - WOOD	PAINTED - WHITE	N/A	N/A	PROVIDE FULL BLOCKING AT HEAD RAIL INSTALLATION LOCATION
103	A	2' - 6"	8' - 0"	0' - 1 3/4"	SOLID CORE - WOOD	PAINTED - WHITE	FRAMELESS W/ 1/2" REVEAL	N/A	



DOOR LEGEND



01 Reflected Ceiling Plan
1/4" = 1'-0"

GENERAL NOTES - RCP

- ALL DIMENSIONS TO FACE OF STRUCTURAL MATERIAL, U.N.O.
- ALL GRID LINES INDICATE CENTER OF STRUCTURAL WALL OR FACE OF STRUCTURAL MATERIAL, U.N.O.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. SUBCONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES. REFER TO FRAMING PLANS AND SECTIONS FOR CLARIFICATION AND DIMENSIONS OF SOFFITTED AREAS.
- FOR ALL DOOR, WINDOW & WALL TYPES REFER TO FLOOR PLANS AND ENLARGED PLANS.
- REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION ON ACCESS PANELS AND GRILLE SIZES.
- PROVIDE CONCEALED PENDANT TYPE SPRINKLER HEADS AT ALL UNIT LOCATIONS.

LEGEND - RCP

- | | |
|--|--|
| | GYP. BD. CEILING |
| | 3" CEDAR, SEE EXTERIOR FINISH SCHEDULE |
| | 1/2" BIRCH PLYWOOD, SEE INTERIOR FINISH SCHEDULE |
| | 4" RECESSED LED DOWNLIGHT, MATT BLACK. WATER PROOFED WHERE INDICATED |
| | VANITY LIGHT |
| | EXTERIOR CUSTOM LIGHT, SEE EXTERIOR ELEVATIONS |
| | 90 CFM EXHAUST FAN |
| | HARDWIRED COMBINATION SMOKE & CO SENSOR |

MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS

MARK DATE

PLOT DATE 05/14/2020

PROJECT 2033

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

FINISH &
REFLECTING CEILING
PLANS, SCHEDULES

A201

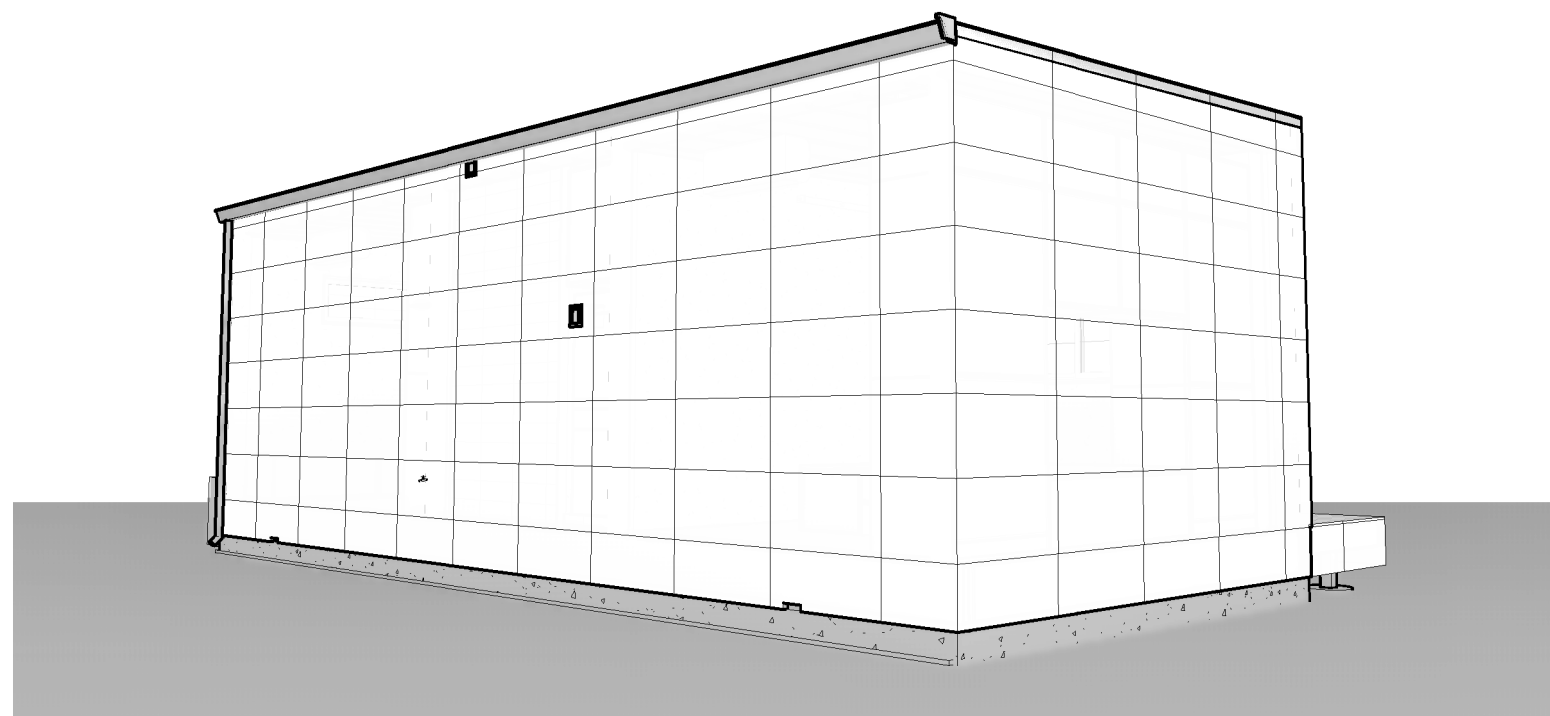
LIVERMORE, CA 94541
950 S. 1ST AVE. SUITE 100
WWW.RANGEARCHITECTURE.COM

Modal

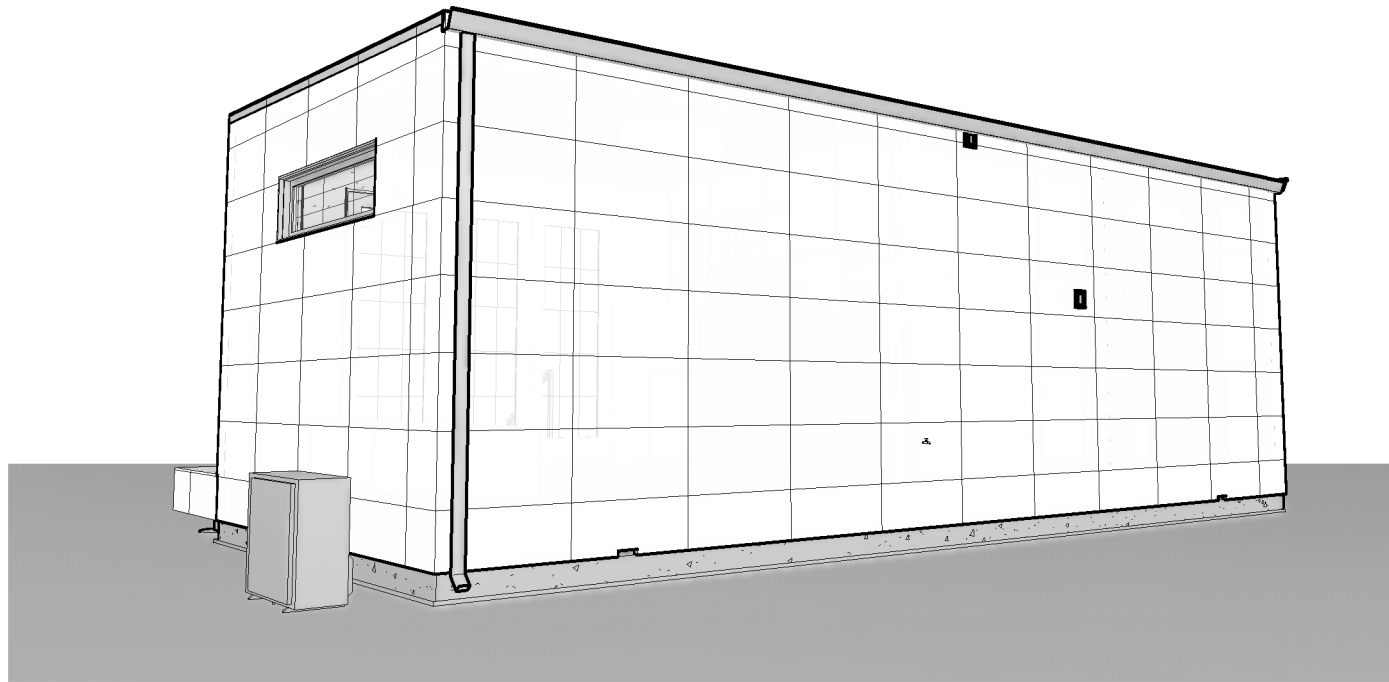
STATE OF UTAH
TERRY WILSON
6590833-0301
05/14/2020
LICENSED ARCHITECT

RANGE
RANGE ARCHITECTURE | DESIGN
3115 EAST HENRISS DRIVE SALT LAKE CITY, UT 84143
WWW.RANGEARCHITECTURE.COM 801.463.9350

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXCLUSIVE WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.



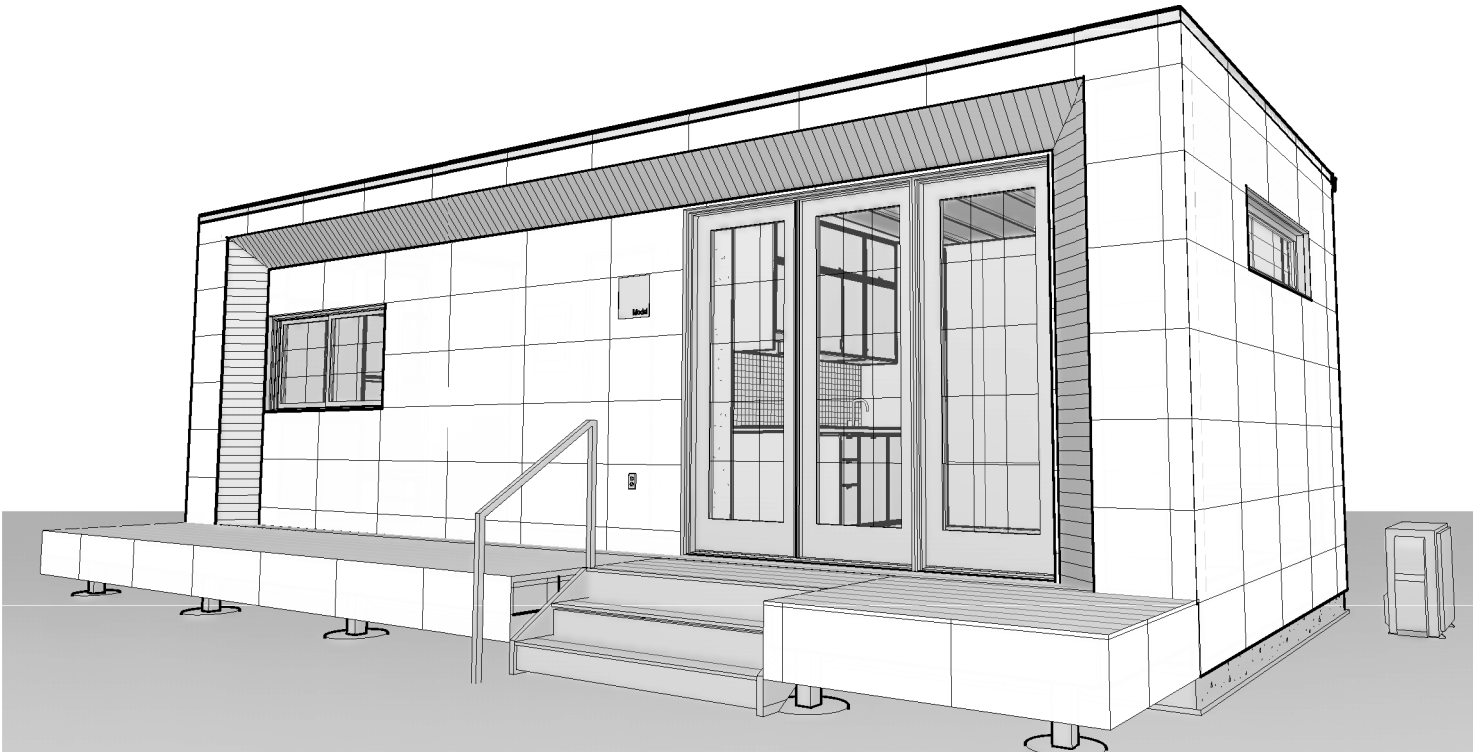
PERSPECTIVE 4



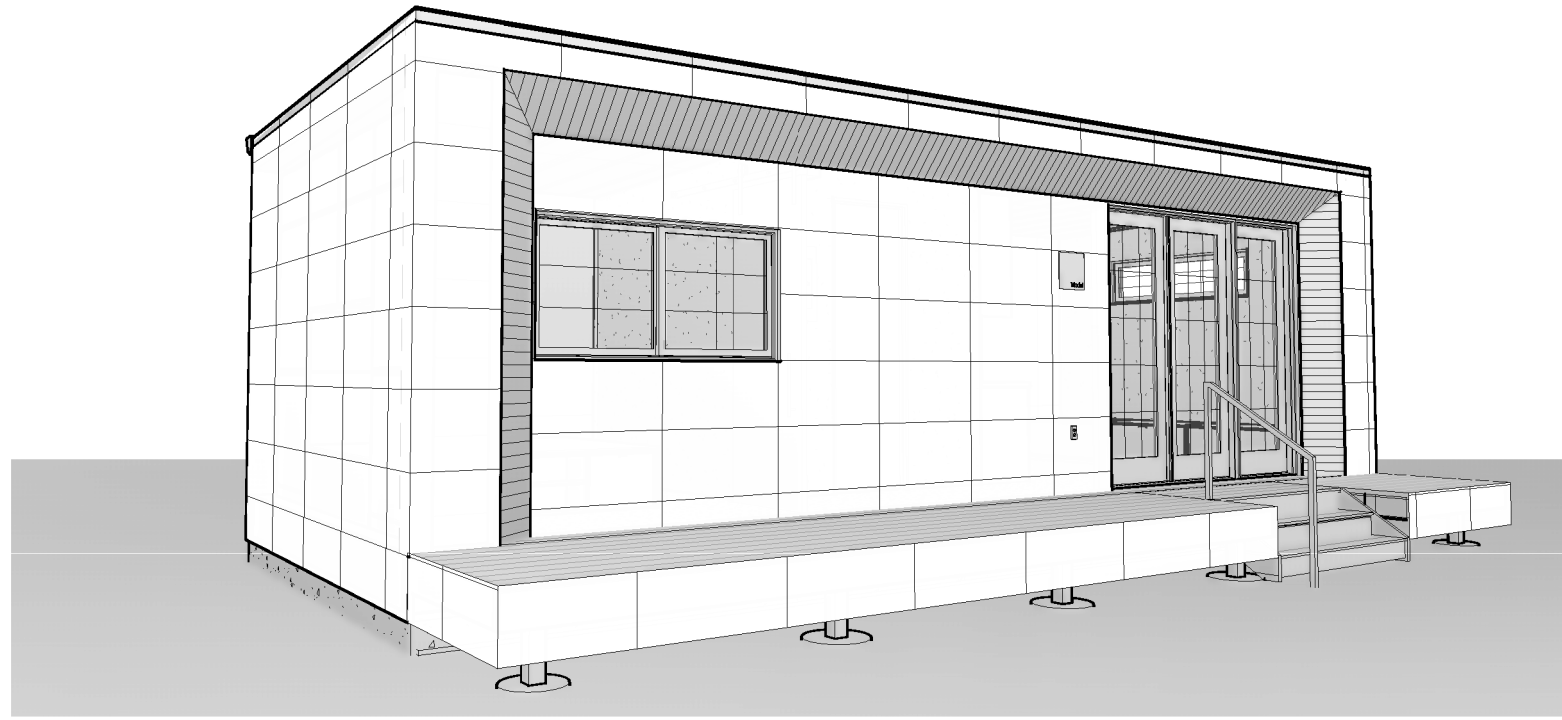
PERSPECTIVE 3

MARK	MATERIAL	MANUFACTURER	COLOR / MODEL #
1	NOT USED	N/A	N/A
2	NOT USED	N/A	N/A
3	VERTICAL CEDAR SIDING - 3"	TBD	STAINED - CLEAR COAT
4	HORIZONTAL CEDAR SIDING - 3"	TBD	STAINED - CLEAR COAT
5	CEMENT BOARD	TBD	WHITE
6	PLASTERED FOUNDATION WALL	TBD	COLOR TO MATCH EXTERIOR SIDING
7	MTL. ROOF FLASHING	TBD	BLACK
8	ALUM. GUTTER AND DOWNSPOUT	TBD	BLACK
9	STEEL HANDRAIL	TBD	POWDERCOAT BLACK
10	STAIR RISER	TBD	STAIN TO MATCH DECK FINISH

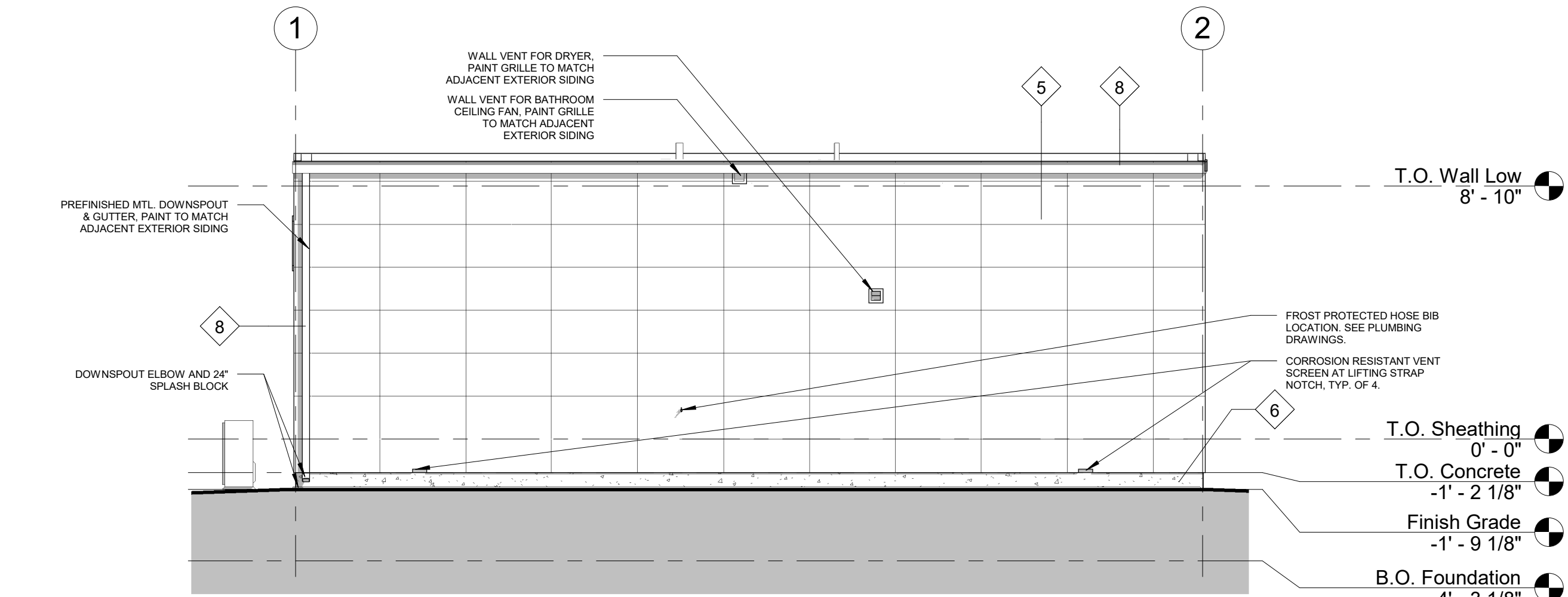
EXTERIOR FINISH SCHEDULE



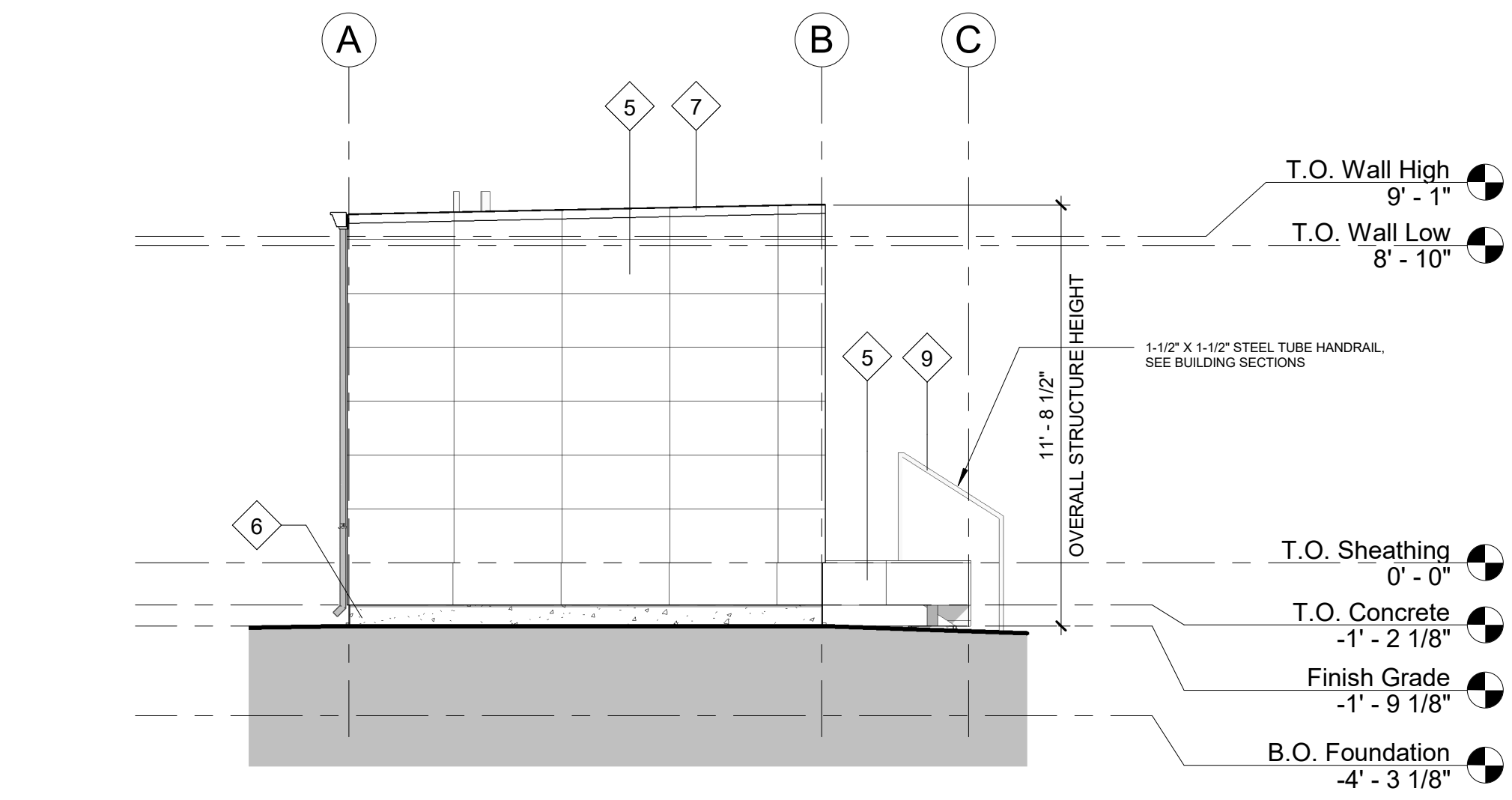
PERSPECTIVE 2



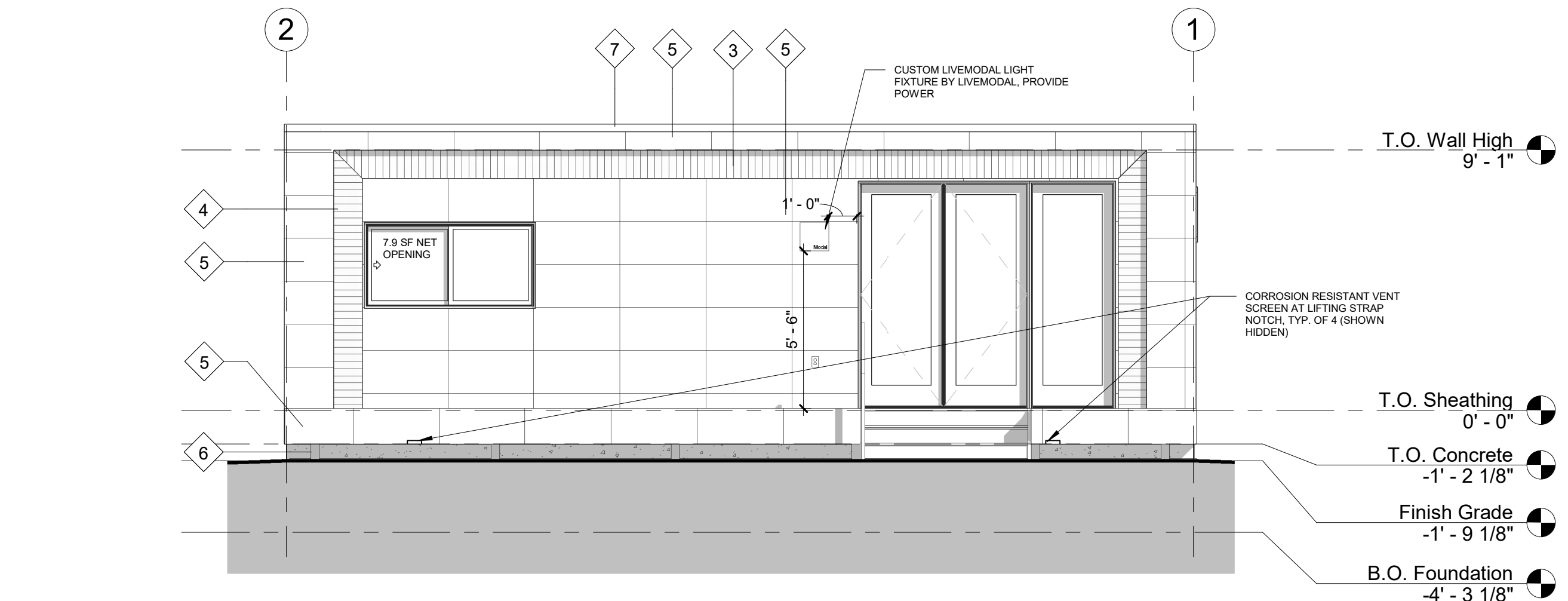
PERSPECTIVE 1



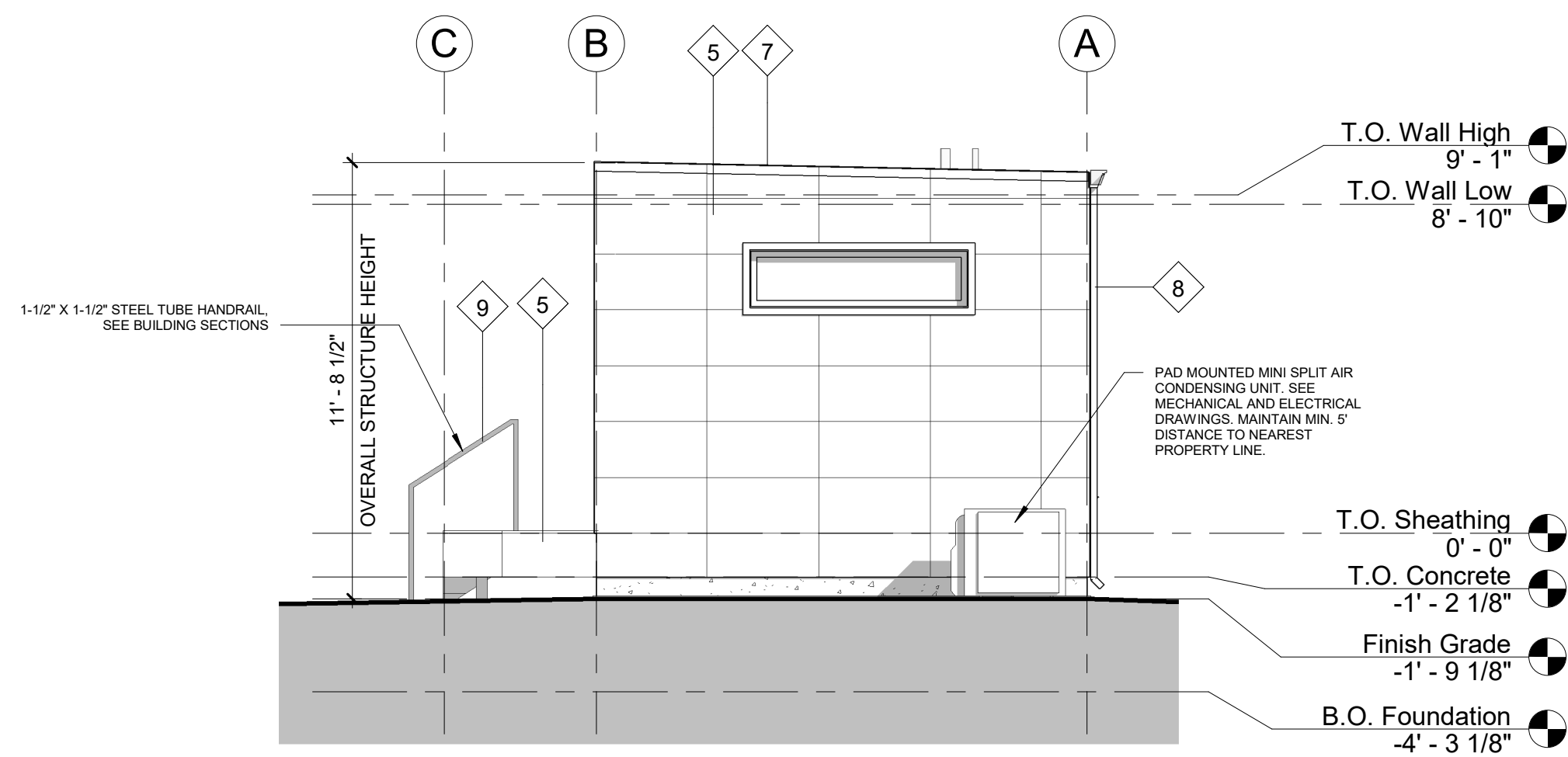
04 WEST ELEVATION
1/4" = 1'-0"



03 SOUTH ELEVATION
1/4" = 1'-0"



02 EAST ELEVATION
1/4" = 1'-0"



01 NORTH ELEVATION
1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

1. WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE OR TOP OF CEMENT-BASED UNDERLAYMENT, U.N.O.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMESNSIONS GOVERN.
3. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

RANGE

STATE OF UTAH
TERRY WILSON
6590833-0301
05/14/2020
LICENSED ARCHITECT

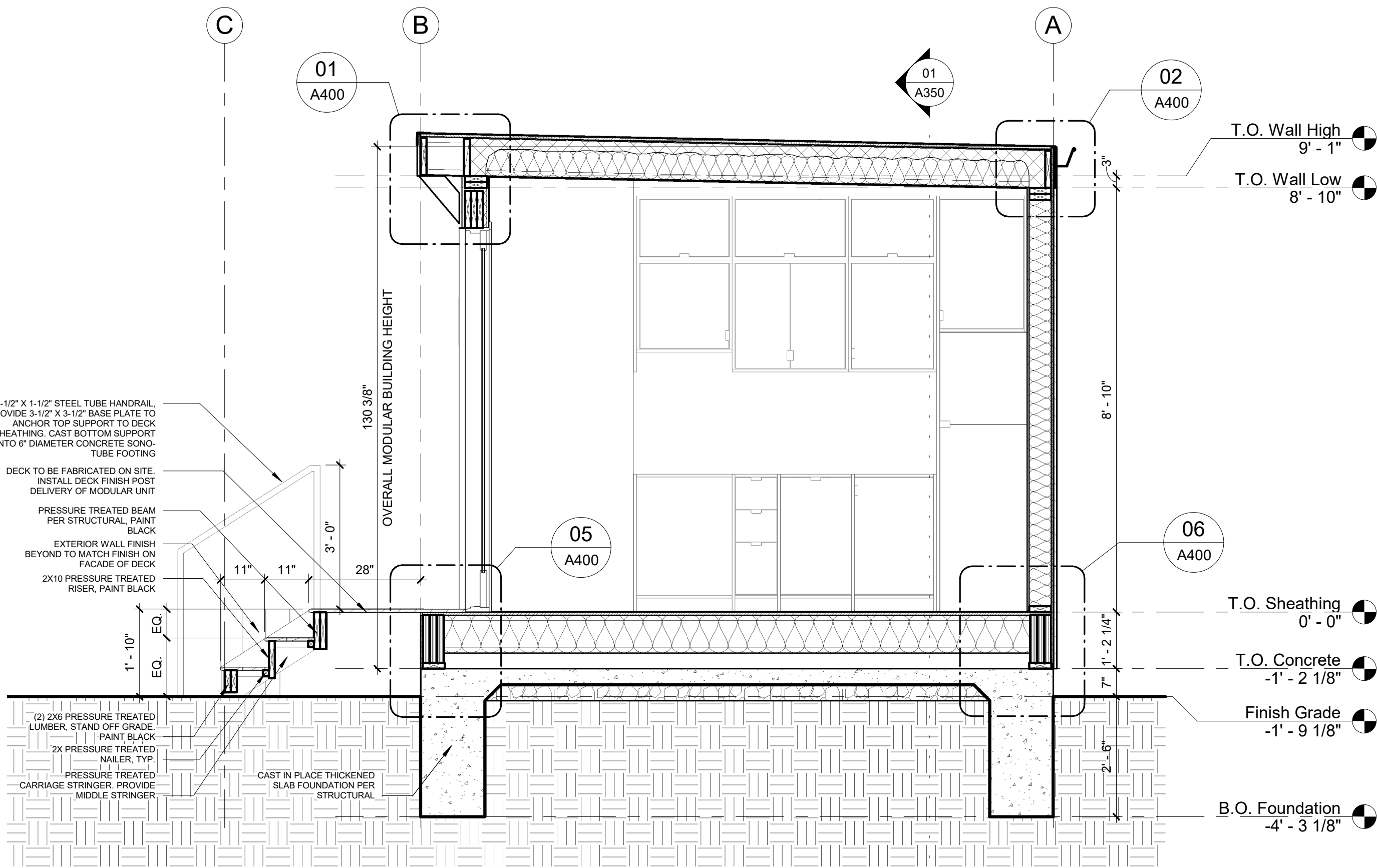
950 S. EAST AVE. SUITE 100
LIVERMOR, UTAH 84043
WWW.RANGEARCHITECTURE.COM

Modal

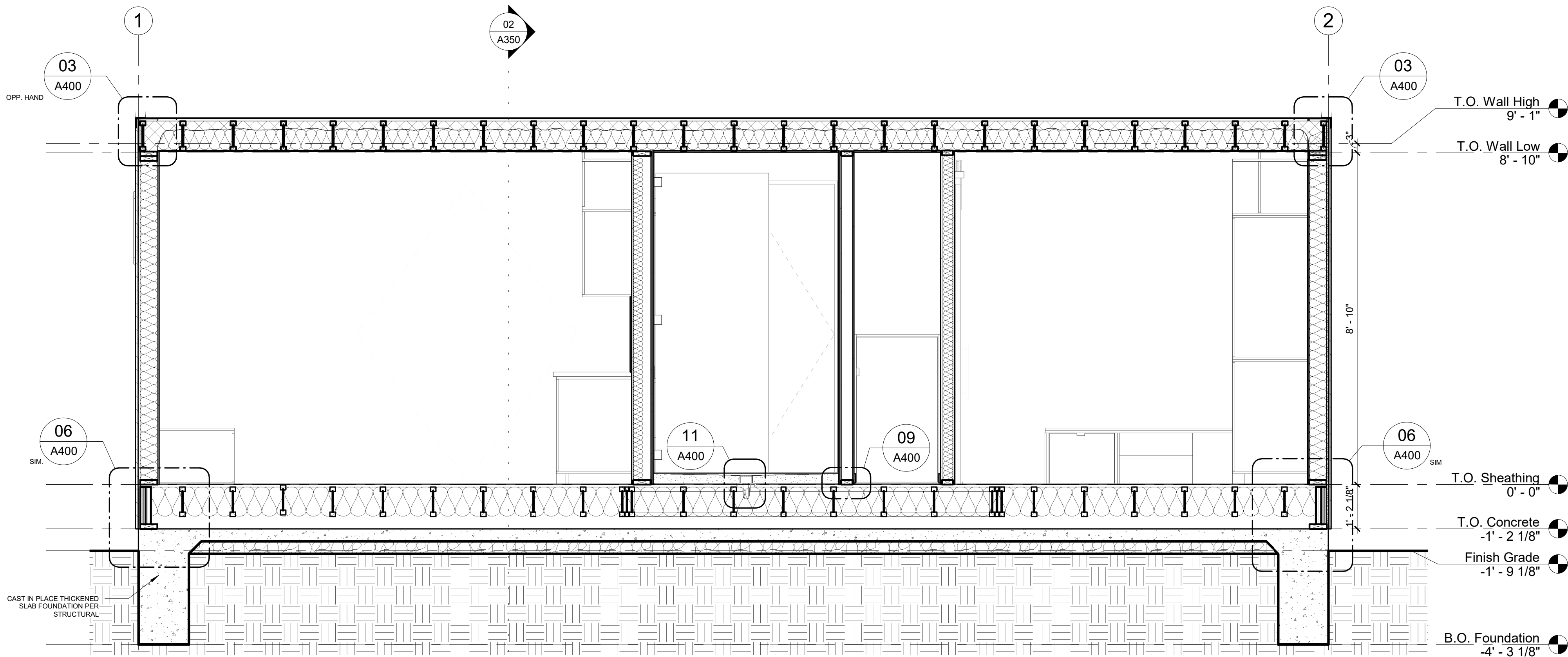
MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020
REVISION SETS
MARK DATE
PLOT DATE 05/14/2020
PROJECT 2033
DRAWN BY IK
CHECKED BY N/A
SHEET TITLE
BUILDING
ELEVATIONS & 3D
VIEWS
A300

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXCLUSIVE WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.



02 Section 2
1/2" = 1'-0"

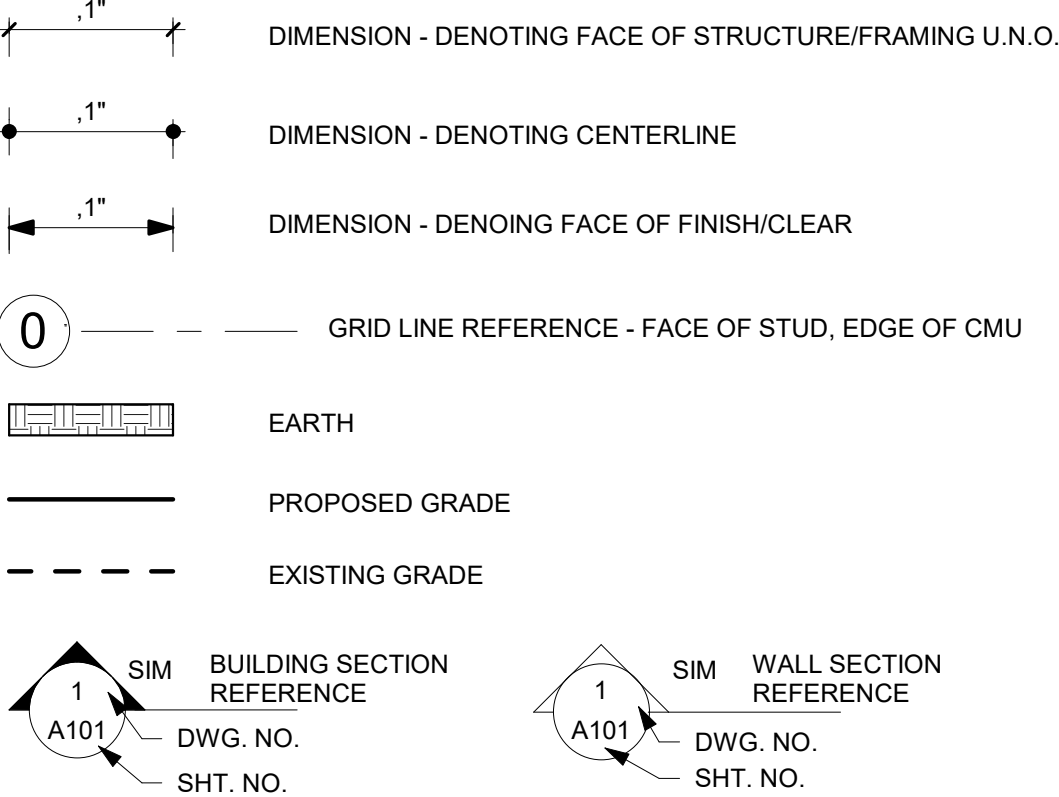


01 Section 1
1/2" = 1'-0"

GENERAL NOTES - SECTIONS

- THESE BUILDING SECTIONS ARE SHOWN FOR SPACIAL RELATIONSHIPS ONLY AND SHOULD NOT BE SOLE BASIS FOR JOINING MATERIALS. REFER TO CALLOUT DETAILS OR ASK ARCHITECT IF UNCERTAIN OR IF CONFLICTS OCCUR.
- WHEN SHOWN IN ELEVATION OR SECTION, ALL DIMENSIONS ARE TO TOP OF PLATE, TOP OF CONCRETE, U.N.O.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
- ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

LEGEND - SECTIONS



MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS
MARK DATE

PLOT DATE 05/14/2020

PROJECT 2033

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

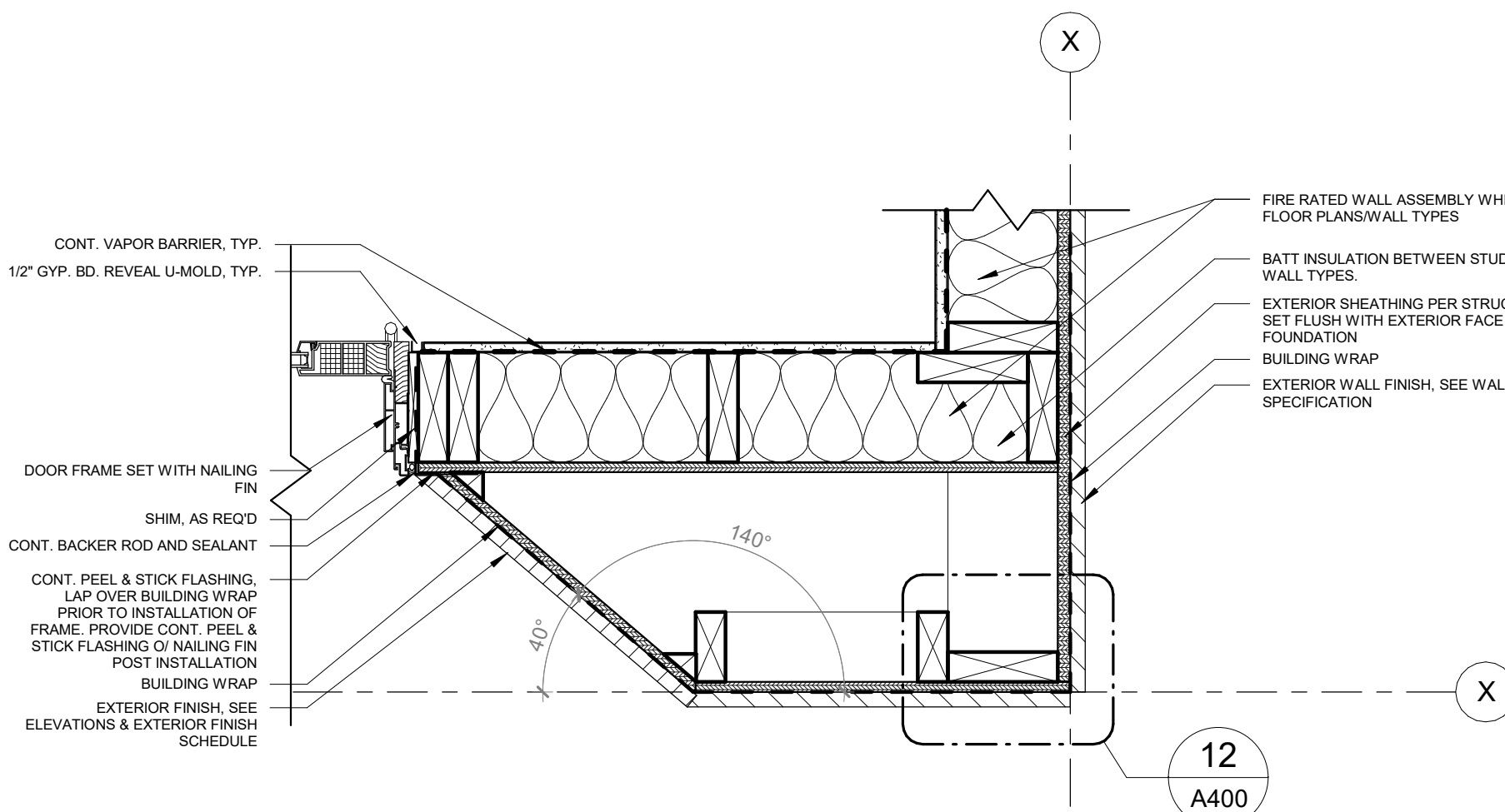
BUILDING SECTIONS

A350

THE DESIGN AND IDEAS SHOWN AND HEREIN DESCRIBED, THE TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION, AND MODELS THEREOF HAVE BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THIS SOLE PROJECT AND SHALL REMAIN THE SOLE PROPERTY OF RANGE ARCHITECTURE AND DESIGN AND THEIR CONSULTANTS. WITHOUT THE SOLE AND EXPRESSED WRITTEN PERMISSION OF RANGE ARCHITECTURE AND DESIGN, REPRODUCTION, DUPLICATION, COPYING, IMITATION, COMMERCIAL EXPLOITATION, OR USE FOR ANY OTHER PURPOSE OTHER THAN FOR THIS SPECIFIC PROJECT IS PROHIBITED. PROHIBITED USE OF THE DESIGN OR THESE DRAWINGS IS SUBJECT TO THE FULL EXTENT OF LEGAL ACTION.

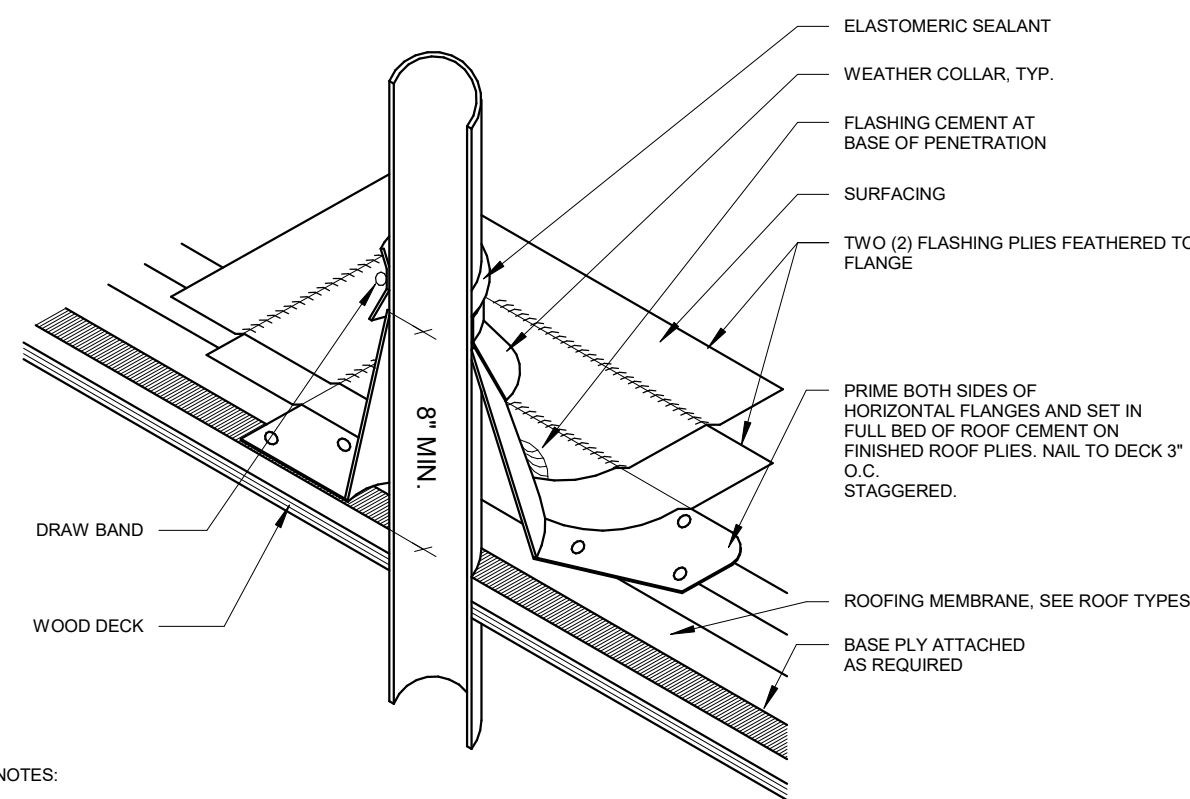
04 Corner Detail

1 1/2" = 1'-0"



08 Vent Penetration

1 1/2" = 1'-0"

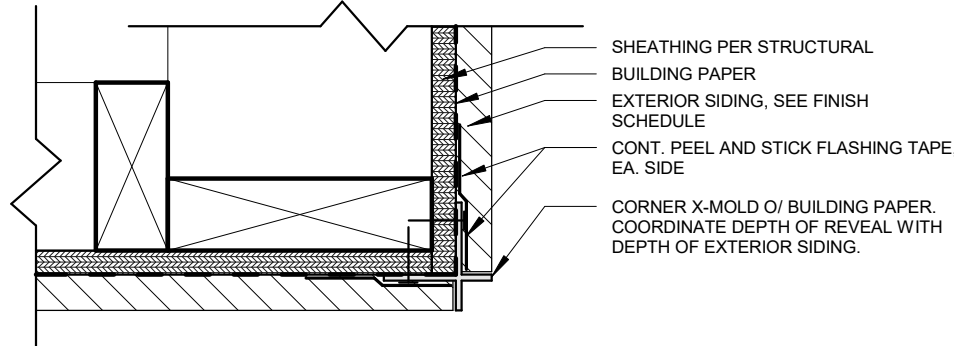


NOTES:

1. DIMENSIONS SHOWN ARE MINIMUMS.
2. THIS DETAIL IS SUITABLE FOR ELECTRICAL CONDUIT, WATER LINES, GAS LINES, SHEET METAL FLUES, VENTS, AND SIMILAR PENETRATIONS. IT IS NOT TO BE USED FOR SOIL VENT FLASHINGS.
3. HORIZONTAL DECK FLANGES SHALL BE 3" MINIMUM.
4. SET METAL ON FINISHED ROOF PLYS BEFORE SURFACING.

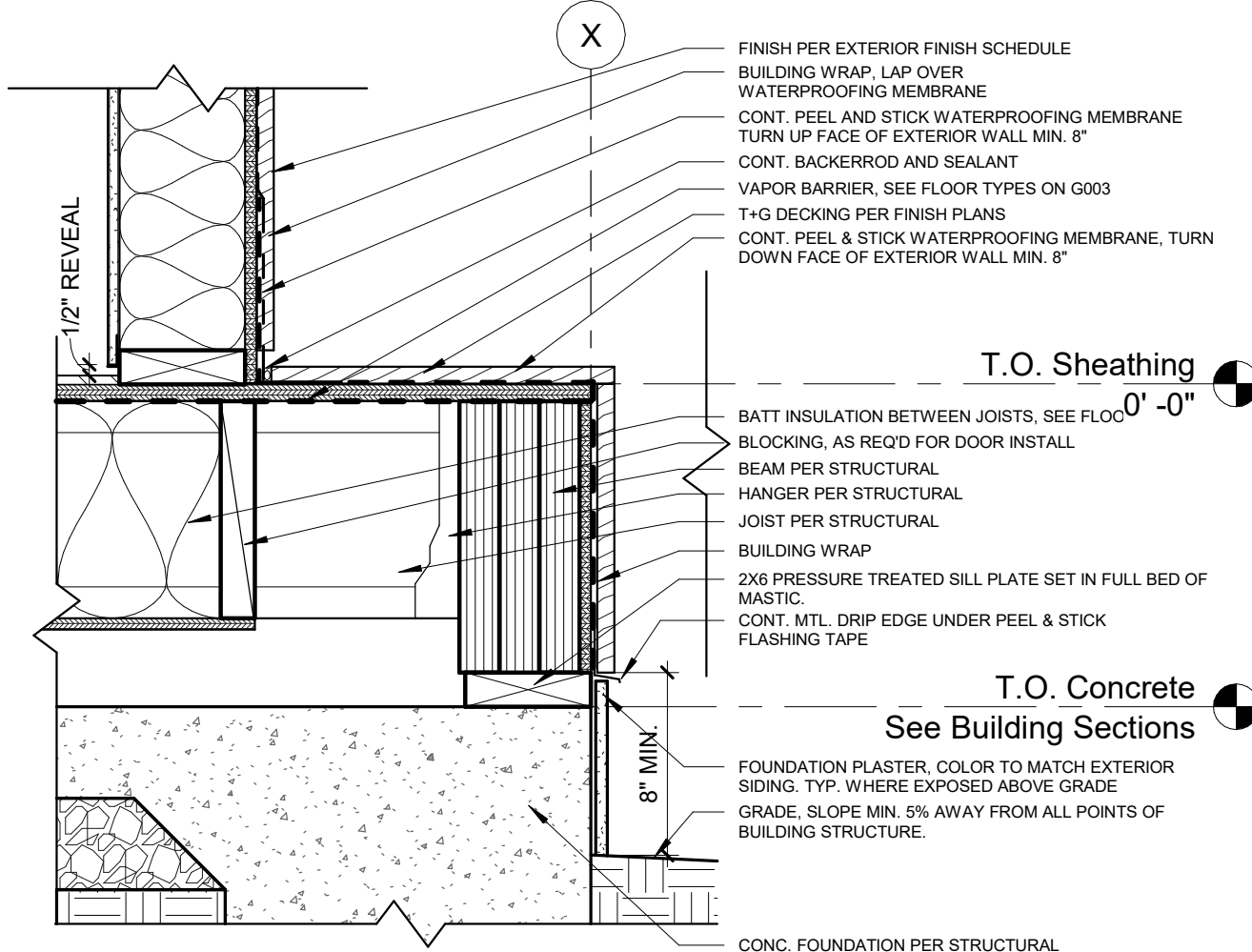
12 Enlarged Corner

3" = 1'-0"



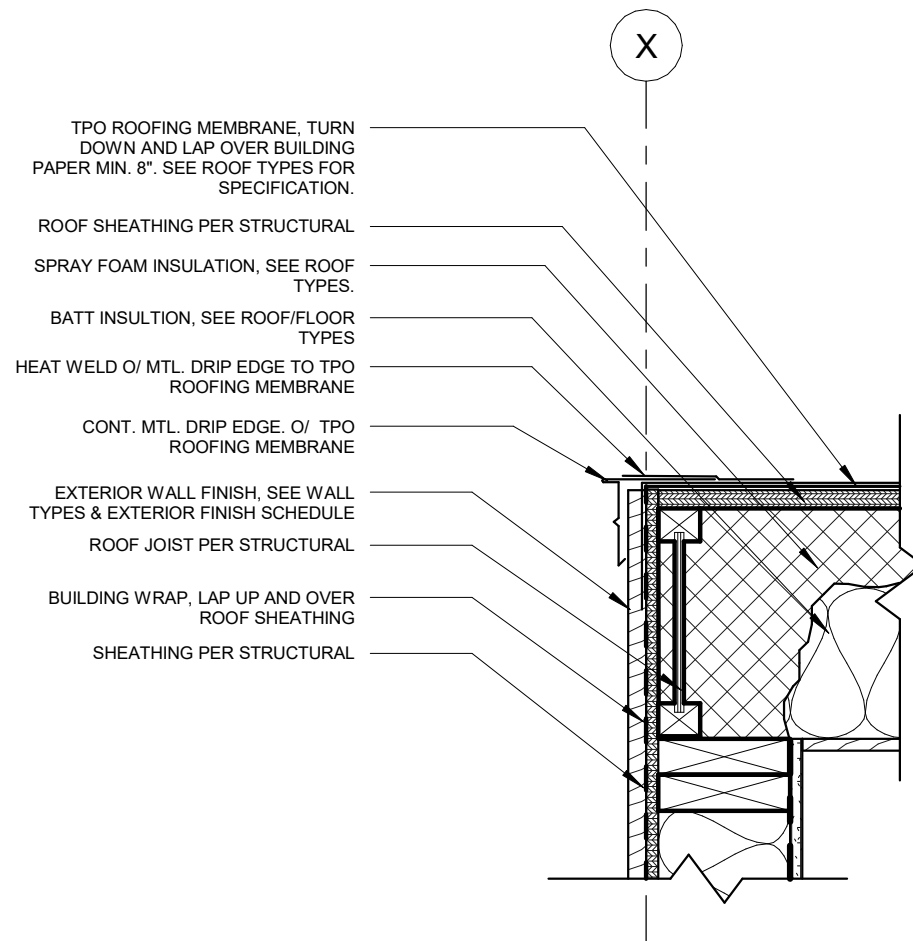
07 Recessed Sill Detail

1 1/2" = 1'-0"



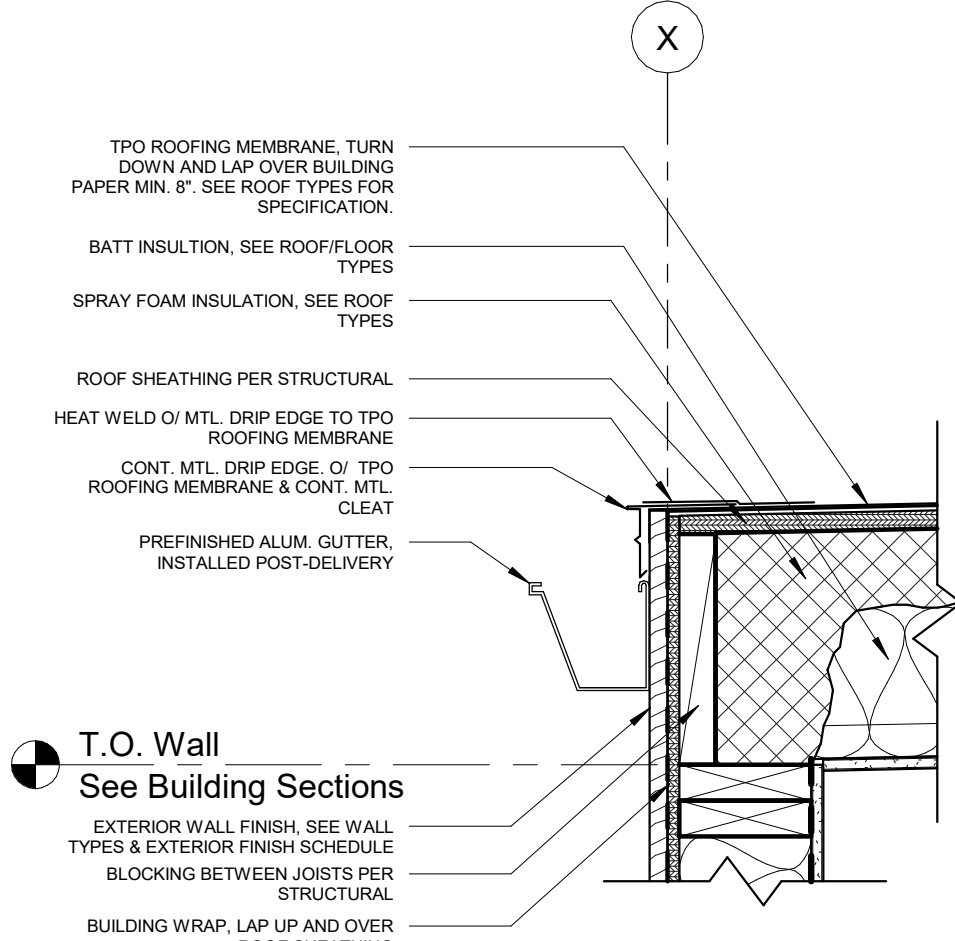
03 Eave Detail 3

1 1/2" = 1'-0"



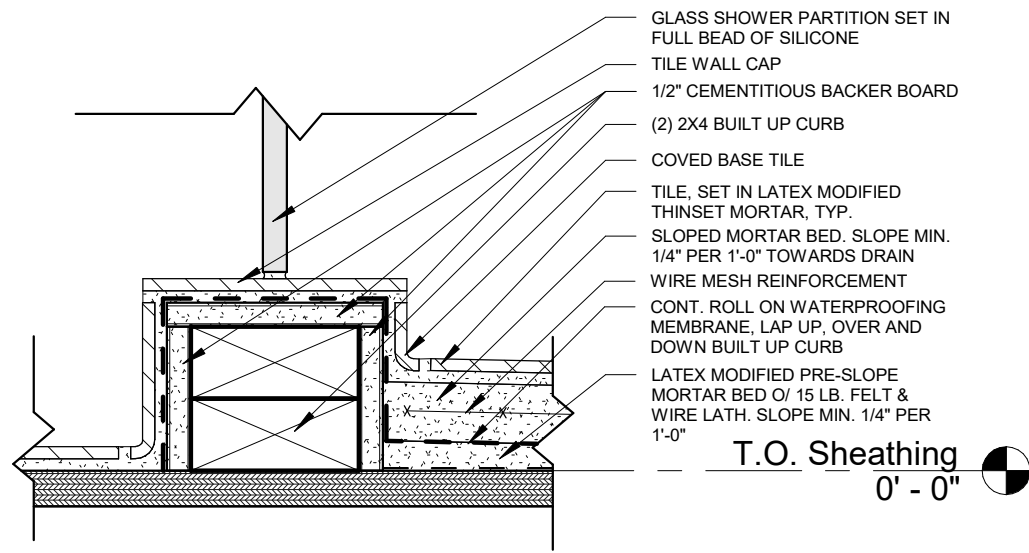
02 Eave Detail 2

1 1/2" = 1'-0"



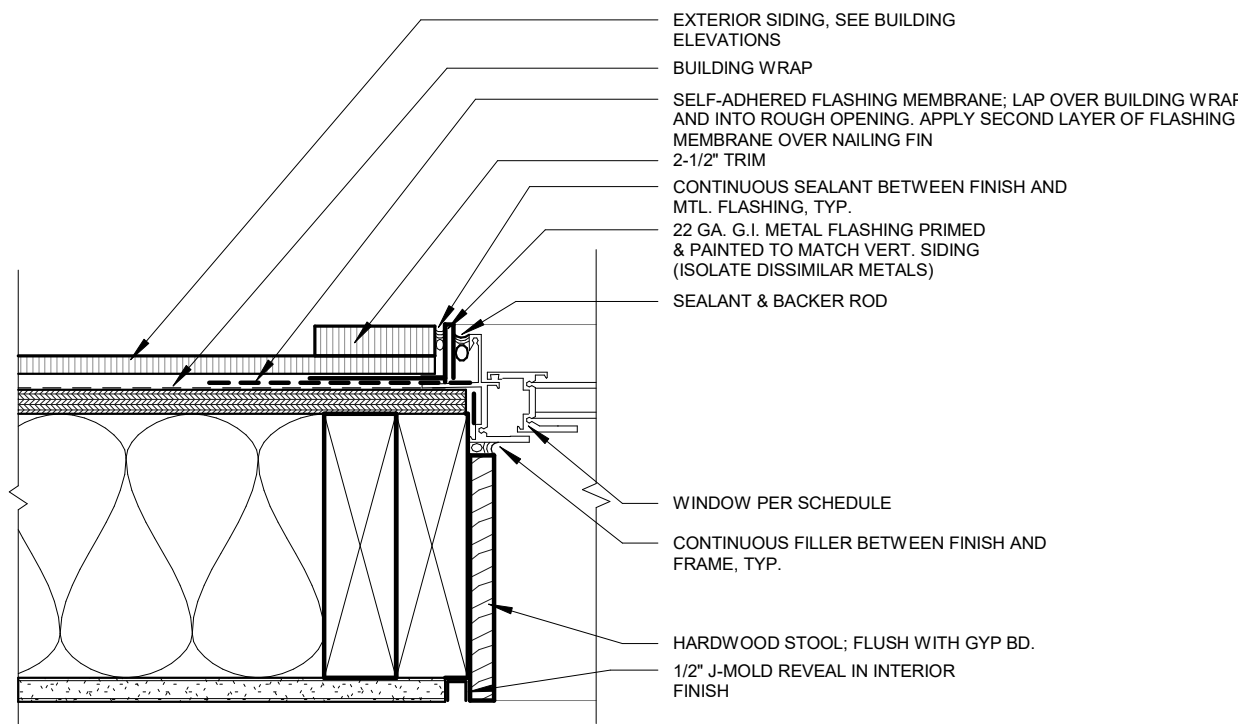
10 Shower Curb

3" = 1'-0"



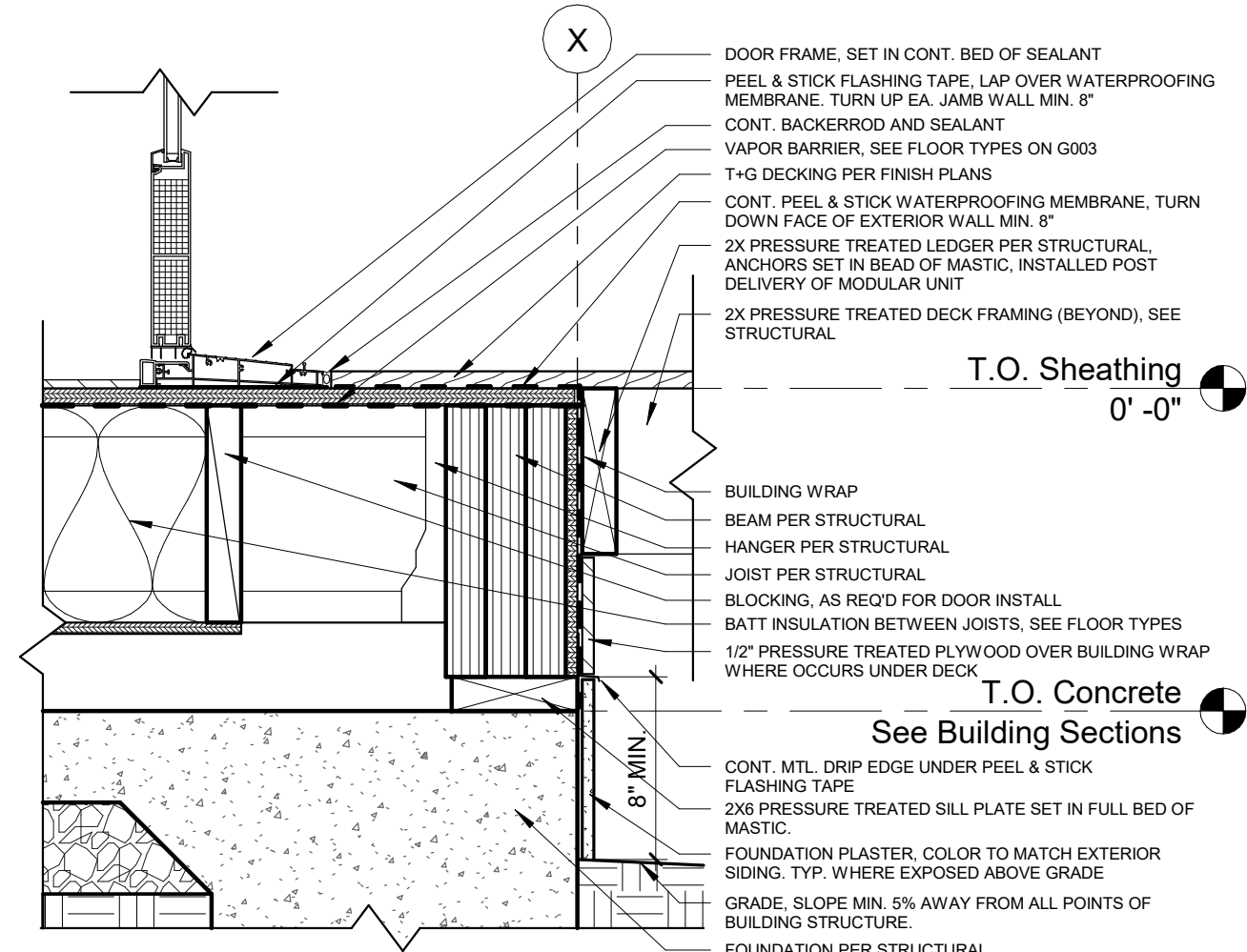
14 Window Jamb/Head, Sim.

3" = 1'-0"



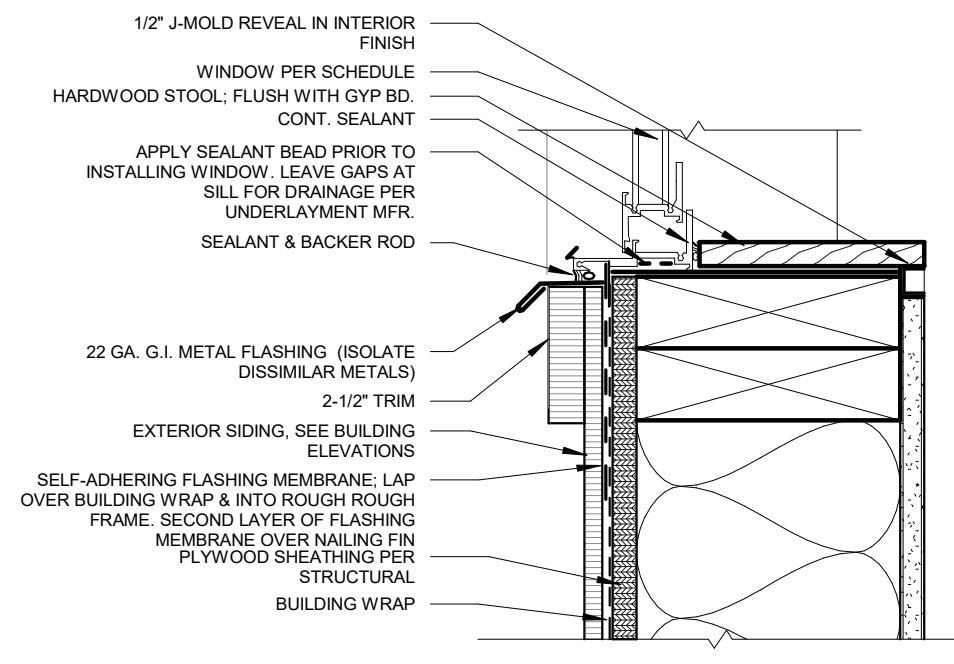
05 Deck Detail

1 1/2" = 1'-0"



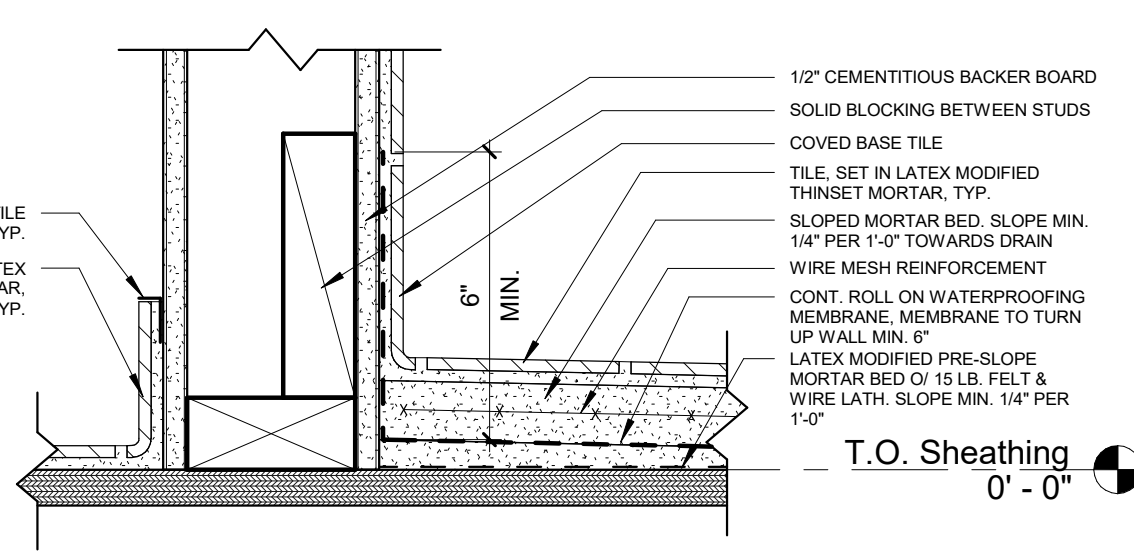
13 Window Sill

3" = 1'-0"



09 Shower Pan to Wall

3" = 1'-0"



MODAL 01 ADU - WILLIAMS
1072 S Jeremy St., Salt Lake City, UT 84104

PERMIT SET 05/14/2020

REVISION SETS

MARK DATE

PLOT DATE 05/14/2020

PROJECT 2023

DRAWN BY IK

CHECKED BY N/A

SHEET TITLE

BUILDING DETAILS

A400

STATE OF UTAH
PERMIT SET 05/14/2020
6590983-0301
RANGE ARCHITECTURE DESIGN
3155 EAST HENNES DRIVE, SUITE 100, SALT LAKE CITY, UT 84143
WWW.RANGEARCHITECTURE.COM

Modal
950 S. EAST AVE. SUITE 100
SALT LAKE CITY, UT 84143
WWW.MODALUTAH.COM

RANGE
ARCHITECTURE DESIGN
3155 EAST HENNES DRIVE, SUITE 100, SALT LAKE CITY, UT 84143
WWW.RANGEARCHITECTURE.COM